

SITE PLAN ENTITLEMENT

Project # 50021924



PARCEL NUMBER:
1425059039

SECTION, TOWNSHIP, RANGE: NE-14-25-5

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PROJECT DATA

PARCEL AREA	279,655 SF / 6.42 ACRES	
LIMIT OF WORK AREA	90,368 SF / 2.07 ACRES DISTURBED	
ZONING	R-5	
NEIGHBORHOOD	OVERLAKE	
	<u>REQUIREMENT</u>	<u>PROPOSED</u>
SETBACKS - FRONT	15'-0"	15'-0"
SIDE	5'-0"	5'-0"
OPEN SPACE	20%	100%
LOT COVERAGE	40%	0.6%
BUILDING HEIGHT	35'-0"	14'-2"
BUILDING TYPE		IBC TYPE VB
PARKING	0, ADEQUATE FOR PEAK USE	10 (INCLUDES 1 VAN ACCESSIBLE SPACE) 2 BIKE RACKS
WATER QUALITY FACILITY - NOT APPLICABLE, SEE STORMWATER REPORT		
WATER QUANTITY FACILITY - NOT APPLICABLE, SEE STORMWATER REPORT		

IMPERVIOUS SURFACE AREA					
EXISTING		PROPOSED IMPERVIOUS SURFACE		TOTAL SITE AREA	MAXIMUM IMPERVIOUS SURFACE (CODE CITATION)
IMPERVIOUS SURFACE AREA (SF)	7, 124 SF / 0.16 ACRES	IMPERVIOUS SURFACE AREA (SF)	16,399 SF / 0.37 ACRES		
IMPERVIOUS SURFACE (%)	3%	IMPERVIOUS SURFACE (%)	6%		
				279,655 SF / 6.42 ACRES	60%

ECOLOGICAL SCORE REQUIREMENTS		
TECHNIQUE	How Technique achieved	POINTS AWARDED - OVERLAKE VILLAGE
1. 25% of the plants installed are Northwest adaptive and 25% of the plants installed are native.*	Total plants installed: 1,343 Total plants NW adaptive: 7 (0.5%) Total plants native: 1,336 (99%)	5 POINTS
2. 40% of existing significant trees, including landmark trees, are retained.	Retained (no impacts): 44%	3 POINTS
3. Minimum of 25% of proposed trees are evergreens.	Proposed Trees: 80, Proposed Evergreen Trees: 30 (38%)	3 POINTS
6. 10% increase over the minimum number of required replacement trees, street trees, or parking lot trees.*	Minimum number of required replacement trees: 35 Proposed replacement Trees: 39 (10%)	3 POINTS
10. Minimum of 25% of landscaped areas are designed with landscaping that does not require irrigation after a three-year period.	Total Landscaped Area: +/- 30,000 SF Temporary irrigation area: 20,000 SF (67%)	3 POINTS
11. Minimum of 50% of landscaped areas where native soils are preserved on-site.	Landscape Areas native soil preserved: 30,000 SF	4 POINTS
	TOTAL	21 POINTS

Tree Retention Table*				
Tree Type	Removal	Impacted	Retained	Total
Landmark (>30')	0	2	1	3
	0%	3%	2%	5%
Significant (6" - 30')	0	33	27	60
	0%	52%	43%	95%
Totals	0	35	28	63
	0%	56%	44%	100%
Replacement Trees	0	35	N/A	35

*See Arborist Report – Tree Inventory and Health Assessment Table and map for detailed tree information

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE _____

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REDMOND WESTSIDE PARK RENOVATION

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2019176.00

PLOT DATE: 04.30.2020

SHEET:

COVER SHEET
G1.0

ABBREVIATIONS

Aban	Abandon(ed)	Gal	Gallon	Qty	Quantity
Adj	Adjust	GPM	Gallons Per Minute	R	Radius
ADA	Americans with Disabilities Act	Galv	Galvanize/Galvanized	RR	Railroad
AIC	Aerial Interconnect	GIP	Galvanized Iron Pipe	Rlwy	Railway
Al	Aluminum	GSP	Galvanized Steel Pipe	Reconn	Reconnect
AP	Angle Point	GM	Gas Meter	Red	Reducer
Approx	Approximate	G Reg	Gas Regulator	Ref	Refer/Reference
Asph	Asphalt	Gas V	Gas Valve	Reinf	Reinforcing/Reinforcement
ABW	Asphalt Bike Way	Gr	Grade	RCP	Reinforced Concrete Pipe
ATB	Asphalt Treated Base	Gnd	Ground	Reloc	Relocate
ACV	Automatic Control Valve	GP	Guy Pole	Rem	Remove
AVB	Automatic Vacumn Breaker			R&R	Remove and Replace
Ave	Avenue	HH	Handhole	Repl	Replace
Avg	Average	HPG	High Pressure Gas	Req'd	Required
BV	Ball Valve	HPS	High Pressure Sodium	Ret	Retire(d)
BOC	Beginning of Curb	Horiz	Horizontal	Rt	Right
BO	Blow Off	HB	Hose Bib	R/W	Right of Way
BF	Bottom Face	HC	Hose Connection	RGS	Rigid Galvanized Steel
Br	Brick	Hse	House	RS	Rigid Steel
Blkhd	Bulkhead	Hyd	Hydrant	Rdwy	Roadway
BFV	Butterfly Valve			RD	Roof Drain
		In	Inch/Inches		
Cb	Cable	Inl	Inlet	SB	Sand Box
Cal	Caliper	ID	Inside Diameter	SCL	Seattle City Light
CIP	Cast Iron Pipe	IE	Invert Elevation	SED	Seattle Engineering Dept.
CB	Catch Basin	Inv	Invert (Line)	SWD	Seattle Water Department
CL	Center Line	IP	Iron Pipe	SG	Subgrade
C-C	Center to Center	Irrg	Irrigation	SD	Service Drain
CLF	Chain Link Fence	IRC	Irrigation Controller	Sht	Sheet
Ch	Chamber	Irrg	Irrigation	SS	Side Sewer - Combined
Cl	Class	IH	Irrigation Head	SSS	Side Sewer - Sanitary
CO	Clean Out	Jt	Joint	Sl	Sleeve
Clr	Clearance	JB	Junction Box	Spacs	Spaces
Conc	Concrete	KV	Kilovolt	Spec	Specification(s)
CBW	Concrete Bike Way			SH	Sprinkler Head
CC	Concrete Culvert	LIT	Large Inlet Top	Sq	Square
CW	Concrete Walk	Lt	Left	Std	Standard
Cond	Condition	LP	Light Pole	Stl	Steel
Cd	Conduit	LF	Lineal Feet	Stl P	Steel Pipe
Conn	Connect	Loc	Location/Locate	St	Street
CMP	Corrugated Metal Pipe	MH	Manhole	SDS	Street Designation Sign
Cont	Continuous	MCV	Manual Control Valve	SLHH	Street Light Handhole
Cr	Cross	MDV	Manual Drain Valve	SNS	Street Name Sign
Cu Ft	Cubic Feet	Max	Maximum	Struct	Structural/Structure
Cu Yd	Cubic Yard	MJ	Mechanical Joint	SL	Survey Line
Culv	Culvert	MVL	Mercury Vapor Light		
C&G	Curb and Gutter	Min	Miniumum	T	Tee
CR	Curb Radius	Misc	Miscellaneous	Tel	Telephone
		ML	Monument Line	TCb	Telephone Cable
Dept	Department	NIC	Not in Contract	Tcd	Telephone Conduit
Dia	Diameter	NTS	Not To Scale	TC	Top of Curb
DB	Direct Burial Cable	No.	Number	THH	Telephone Handhole
DGV	District Gate Valve			TVCb	Television Cable
DCV	Double Check Valve	OC	On Center	TVHH	Television Handhole
Dwy	Driveway	OD	Outside Diameter	Temp	Temporary
DIP	Ductile Iron Pipe			TH	Testhole
		Pav	Pavement	TF	Top Face
Ea	Each	PPB	Pedestrian Push Button	Tr	Traffic
Esmt	Easement	PDP	Perforated Drain Pipe	TrCb	Traffic Cable
Ecc	Eccentric	PS	Pipe Sewer Combined	TrCd	Traffic Conduit
Elec	Electric/Electrical	PSS	Pipe Sewer Sanitary	TCHH	Traffic Handhole
ECb	Electric Cable	PSD	Pipe Storm Drain	TrSB	Traffic Signal Box
ECd	Electric Conduit	PSDD	Pipe Storm Drain Detention	TrSP	Traffic Signal Pole
ED	Electric Duct	PE	Plain End	XP	Transmission Pole
EMH	Electric Manhole	PL	Plate	Typ	Typical
EV	Electric Vault	PCC	Point of Compound Curvature	VCh	Valve Chamber
EI	Elevation	PC	Point of Curvature	V/Var	Variable
Elev	Elevation	PI	Point of Intersection	Vert	Vertical
Encl	Enclosure	PRC	Point of Reverse Curve	VB	Valve Box
EOC	End of Curb	PT	Point of Tangency	V/C	Vertical Curve
Eq	Equal	PVC	Polyvinyl Chloride		
Ex	Existing	LBS	Pounds	W	Water
Exp	Expansion	PSI	Pounds per Square Inch	WM	Water Meter
		PP	Power Pole	WCR	Wheel Chair Ramp
Ft	Feet	PPL	Power Pole with Light	w/	With
FLP	Field Light Pole	PRV	Pressure Reducing Valve	WP	Wood Pole
Fig	Figure	PVB	Pressure Vacumn Breaker	WSP	Wood Stave Pipe
FF	Finished Floor	PL	Property Line		
FG	Finish Grade	Prop	Proposed		
FS	Finished Surface (paving)				
FM	Force Main				

GENERAL NOTES:

1. ALL WORK SHALL CONFORM WITH ALL FEDERAL, STATE, OR LOCAL LAWS, ORDINANCES AND REGULATIONS THAT AFFECT WORK UNDER THE CONTRACT. SEE SPECIFICATIONS FOR ADDITIONAL DETAILS

2. A COPY OF THE APPROVED CONTRACT DOCUMENTS SHALL BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS INCLUDING A COPY OF THE CURRENT CITY OF REDMOND STANDARD DETAILS AND SPECIFICATIONS.

3. CONTRACTOR SHALL VERIFY ALL EXISTING DATA SHOWN IN THESE DOCUMENTS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED FEATURES PRIOR TO CONSTRUCTION.

4. DATUM PER CITY OF REDMOND. ALL UTILITIES SHOWN HAVE BEEN ESTABLISHED BY FIELD SURVEY OR AVAILABLE RECORDS AND SHOULD BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN ON THE PLAN WHICH MAY BE AFFECTED BY CONSTRUCTION.

5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SEDIMENTATION CONTROL AND COLLECTION FACILITIES TO PREVENT ERODED SOILS FROM ENTERING THE PUBLIC DRAINAGE SYSTEM DURING EXECUTION OF THE CONTRACT.

6. KEEP ALL WALKWAYS CLEAR AND FREE OF DEBRIS. PAVED SURFACES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.

7. STORAGE OF MATERIALS AND EQUIPMENT WILL BE ALLOWED ONLY IN AREAS DESIGNATED FOR CONSTRUCTION OR STORAGE. UNDER NO CIRCUMSTANCES ARE MATERIALS TO BE STORED IN PUBLIC USE AREAS OF THE PARK PROPERTY.

8. ALL IMPROVEMENTS SCHEDULED TO REMAIN THAT ARE DAMAGED DURING THE COURSE OF EXECUTION OF THE CONTRACT WORK SHALL BE REPLACED BY THE CONTRACTOR TO THE ENGINEERS SPECIFICATIONS AT NO ADDED COST TO THE OWNER. THESE IMPROVEMENTS MAY INCLUDE ASPHALT AND CONCRETE PAVING, BENCHES, RAILINGS, IRRIGATION, VEGETATION, AND VARIOUS OTHER UTILITIES.

9. CONTRACTOR TO MAINTAIN AN 8'-0" CORRIDOR BETWEEN 156TH ST NE TO THE BRIDLE TRAILS TRAILHEAD AT ALL TIMES DURING CONSTRUCTION.

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

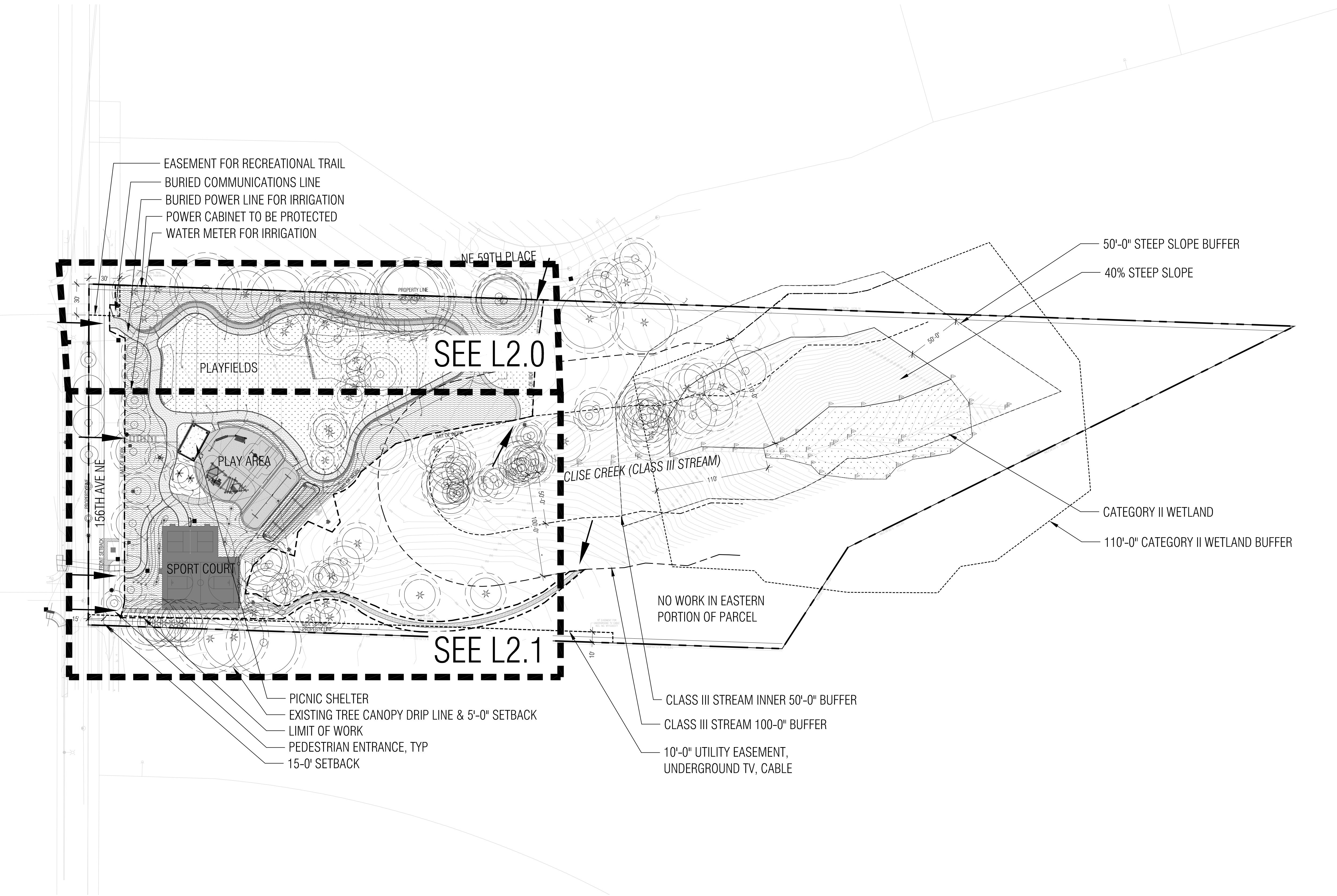
COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE 6'x24"6"

BOARD & VELLUM PROJECT #:	2019176.00
PROJECT #:	500021924
PLOT DATE:	04.30.2020

SHEET:

NOTES

G1.0



1 COMPOSITE SITE PLAN
SCALE: 1" = 40'-0"

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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02.26.2020	30% PLANS
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04.20.2020	60% PLANS
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04.30.2020	SITE PLAN ENTITLEMENT
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COPYRIGHT BOARD AND VELLUM LLC, ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE: 8.5'x11'

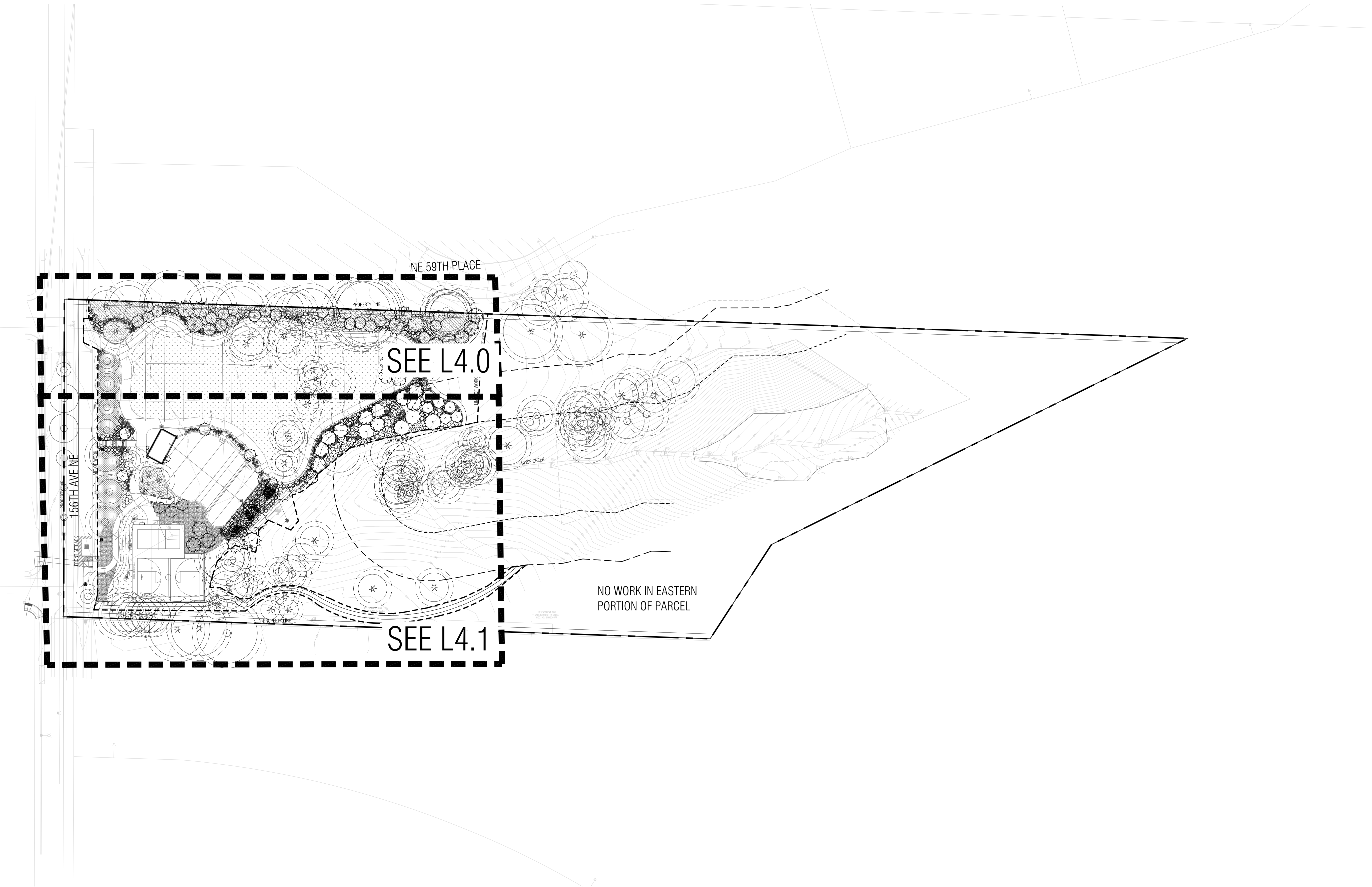
BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

PLOT DATE: 04.30.2020

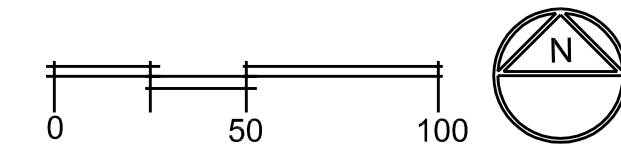
L-100

SHEET:

COMPOSITE
SITE PLAN



1 COMPOSITE PLANTING PLAN
SCALE: 1" = 40'-0"



Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



**REDMOND WESTSIDE PARK
RENOVATION**
5810 156TH AVE NE
REDMOND, WA 98052
OWNER: CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
	02.26.2020	30% PLANS
	04.20.2020	60% PLANS
	04.30.2020	SITE PLAN ENTITLEMENT

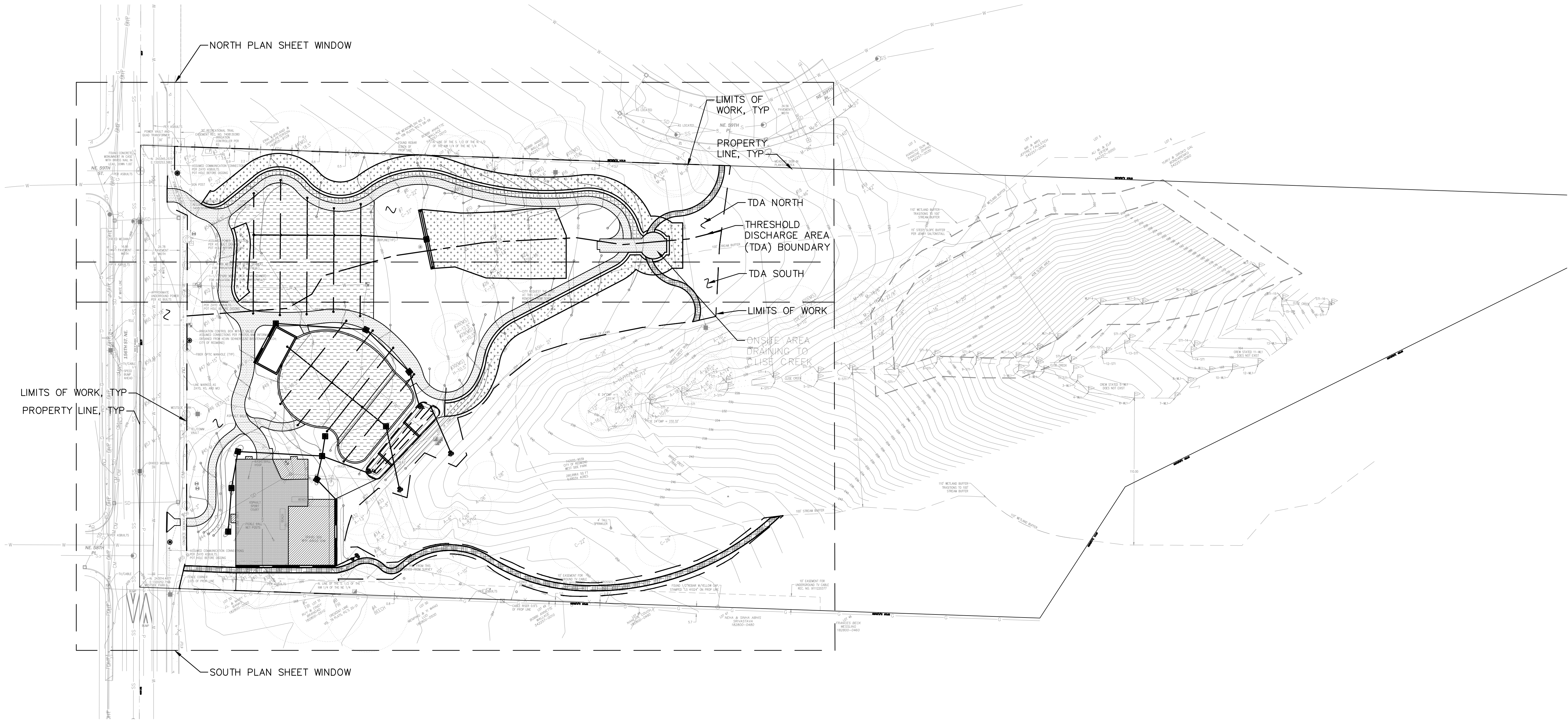
COPYRIGHT BOARD AND VELLUM LLC, ALL RIGHTS RESERVED,
ORIGINAL SHEET SIZE 6'x24'x6"

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924
PLOT DATE: 04.30.2020

SHEET:

COMPOSITE PLAN NOTES

- 1. SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES.
- 2. THIS COMPOSITE PLAN IS INCLUDED FOR REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.



Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE: 30" X 42"

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924
PLOT DATE: 04.30.2020

NAVD88

ORIGINATING BENCHMARK

ELEV=310.30 FEET

PROJECT BENCHMARKS

RED64:
DISK IN CONTROL BOX FOOTING STAMPED "CITY OF REDMOND BM 64 C.O.R." AT THE INTERSECTION OF 156TH AVE NE AND NE 51ST ST.,
SOUTHEAST QUADRANT

ELEV=310.30 FEET

FLV=265.03 EFFT

BETWEEN THE MONUMENTS FOUND IN PLACE ALONG THE CENTERLINE OF 156TH AVE. NE., AS CALCULATED FROM MONUMENTS REFERENCED BELOW WITH COORDINATE VALUES PUBLISHED BY THE CITY OF REDMOND PER CITY HORIZONTAL CONTROL NOTEBOOK, PUBLISHED IN 1993.

GLO-3FS: FOUND MONUMENT WITH 1/2" REBAR 1.6' DOWN, IN CASE, NORTH QUARTER CORNER SECTION 14-25-5.

GPS90-3G2(GLO-3GS): SOUTH QUARTER CORNER SECTION 14-25-5.

1. CRESCENT LANE, VOL. 79 OF PLATS, PGS. 20 & 21
2. THE MEADOWS DIVISION 2, VOL. 106 OF PLATS, PGS. 58 & 59

NAD 83(91) (CITY OF REDMOND HORIZONTAL CONTROL)

GLO-3FS:
NORTH QUARTER CORNER SECTION 14, TOWNSHIP 25 NORTH, RANGE 5 EAST, FOUND CONCRETE MONUMENT WITH 1/2" REBAR, DOWN 1.6' IN

N: 243676.03
E: 1320254.06

GPS90-362(L0-3GS)
SOUTH QUARTER CORNER SECTION 14, TOWNSHIP 25 NORTH, RANGE 5 EAST, CONCRETE MONUMENT WITH 3"BRASS DISC, DOWN 1.55' IN MO

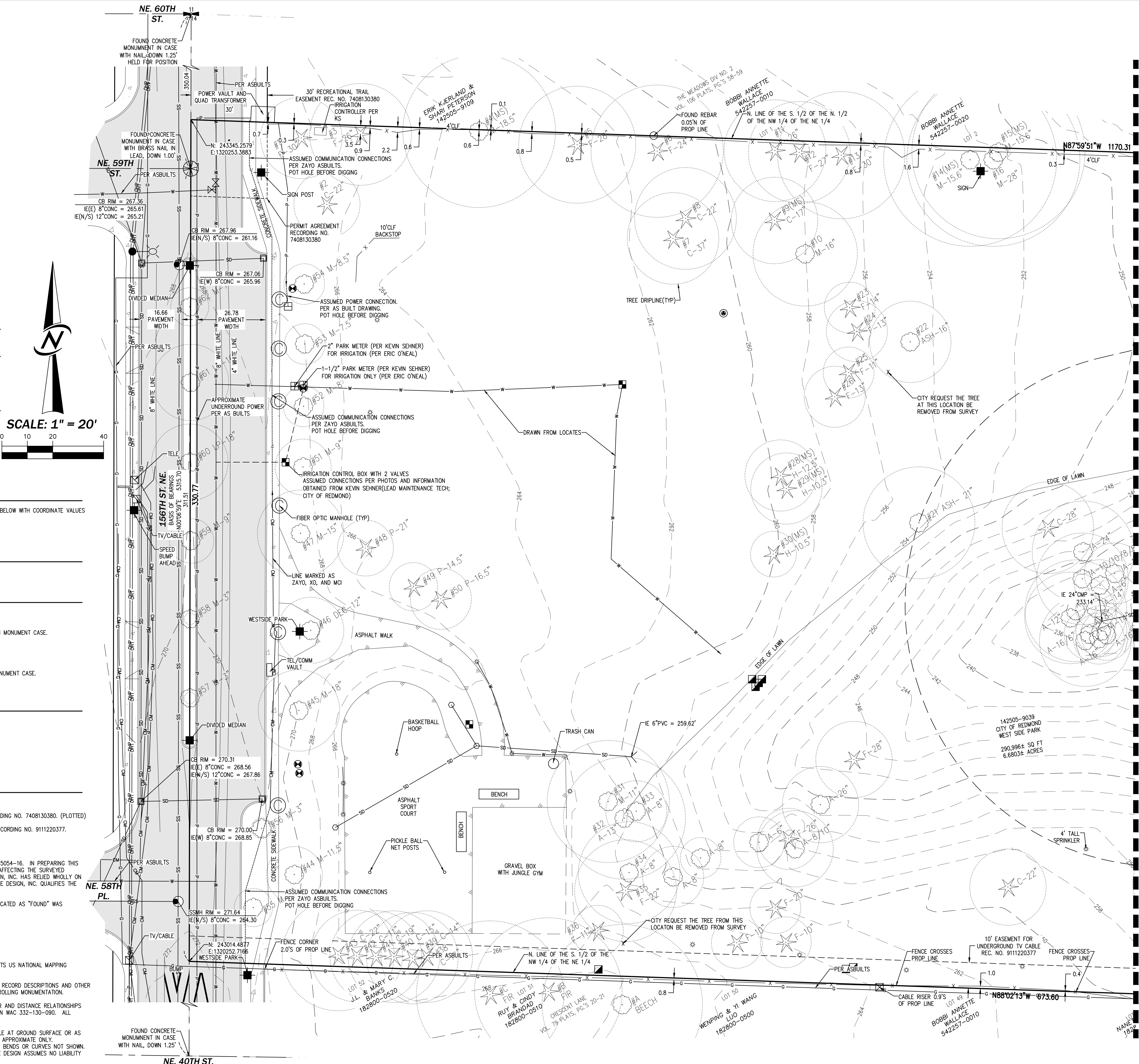
N: 238360.340
E: 1320243.265

THE SOUTH 1/2 OF THE NORTH 1/2 OF THE NW 1/4 OF THE NE 1/4 SECTION 14, T. 25 N., R. 5 E., W.M., KING COUNTY, WASHINGTON;
EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID S 1/2 ;
THENCE WESTERLY ALONG THE NORTH LINE OF SAID S 1/2 176.8 FEET.,
THENCE SOUTH 63°38'00" WEST 483.6 FEET.;
THENCE SOUTHWESTERLY 144.14 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH HALF DISTANT 670.3
FEET FROM THE EAST LINE OF SAID SOUTH HALF;
THENCE EASTERLY ALONG SAID SOUTH LINE 670.3 FEET TO SAID EAST LINE;
THENCE NORTHERLY ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

SCHEDULE B ITEMS 2 AND 4-9 NOT APPLICABLE TO THIS SURVEY.


1. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF A DOCUMENT ENTITLED "PERMIT AGREEMENT" AS RECORDED UNDER RECORDING NO. 7408130380. (PLOTTED)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR UNDERGROUND CABLE AND THE TERMS AND CONDITIONS THEREOF RECORDED UNDER RECORDING NO. 9111220377. (PLOTTED)

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY GUARANTEE NO. 0165054-16. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY. NO OTHER INFORMATION HAS BEEN DISCLOSED BY THE REFERENCED GUARANTEE NO. 016504-16. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON NOVEMBER 4, 2019. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN NOVEMBER, 2019.
3. PROPERTY AREA = 290,100± SQUARE FEET (6.6598± ACRES).
4. ALL DISTANCES ARE IN US FEET AT GROUND LEVEL.
5. CONTOUR INTERVAL = 2 FEET.
6. ELEVATION AND/OR CONTOUR INFORMATION SHOWN HEREON IS GENERATED FROM DIRECT FIELD OBSERVATION. SAID INFORMATION MEETS US NATIONAL MAPPING STANDARDS AND IS ACCURATE TO WITHIN ONE-HALF THE CONTOUR INTERVAL.
7. BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM OBSERVATION OF CONTROLLING MONUMENTATION AND INTERPRETATION OF RECORD DESCRIPTIONS AND OTHER EVIDENCE. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATED TO THE BOUNDARY BY DIRECT FIELD OBSERVATION FROM CONTROLLING MONUMENTATION.
8. THIS IS A FIELD TRAVERSE SURVEY. A THREE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE ADJUST OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
9. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION SHOWN AT GROUND SURFACE OR AS MARKED BY 811 OR OTHER UTILITY LOCATING PROVIDERS ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE EVIDENCE OF UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND UTILITY INFORMATION SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CLIENT UNDERSTANDS THAT CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR PAINTED UTILITY LOCATIONS.



CONTINUE ON PAGE 2

[illegible]

DESIGNED	SHEET		NO.	REVISIONS	DATE
DRAWN	2				
APPROVED	2	OF			
PROJECT NUMBER					
19169					
BOUNDARY & TOPOGRAPHIC SURVEY WESTSIDE PARK-REDMOND BOARD & VELLUM 115 15TH AVE. E., SUITE 100 SEATTLE, WA. 98112					
					
CORE DESIGN ENGINEERING • PLANNING • SURVEYING 14711 NE 28th Place Suite 101 Bellevue, Washington 98007 425.885.7877 Fax 425.885.7963					

CIVIL SHEET INDEX

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C4.2	STORM DRAIN & UTILITY PLAN SOUTH
C4.3	DRAINAGE AREAS
C4.4	SD DETAILS 1
C4.5	SD DETAILS 2

GENERAL NOTES

1. SURVEY BACKGROUND IS BASED ON THE PRELIMINARY SURVEY DATED 11-13-2019 PROVIDED BY CORE DESIGN.
2. CONTRACTOR SHALL HAVE A SET OF THE APPROVED PERMIT PLANS ON THE JOB SITE DURING CONSTRUCTION.
3. ALL WORK SHALL CONFORM TO THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS AND THE 2020 WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
4. THIS PROJECT IS CLASSIFIED AS LARGE PER CITY OF REDMOND SITE CLASSIFICATIONS.
5. CONTRACTOR TO MAINTAIN AN 8' CORRIDOR BETWEEN 156TH ST NE TO THE BRIDLE TRAILS TRAILHEAD AT ALL TIMES DURING CONSTRUCTION.

CITY OF REDMOND STANDARD NOTES

1. ALL WORK AND MATERIALS TO BE PER CITY OF REDMOND STANDARDS.
2. KEEP OFF-SITE STREETS CLEAN AT ALL TIMES. FLUSHING STREETS SHALL NOT BE ALLOWED. ALL STREETS SHOULD BE SWEPT.
3. ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY CITY INSPECTOR.
4. WHEN WORK IS STOPPED/COMPLETED IN AN AREA, THE CITY INSPECTOR MAY REQUIRE POST-CONSTRUCTION EROSION CONTROL INCLUDING SEEDING OR OTHER MEASURES.
5. LOCATIONS SHOWN OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CORRECT LOCATIONS TO AVOID DAMAGE OR DISTURBANCE.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION.
7. ALL GROUND COVER IS TO REMAIN UNDISTURBED OUTSIDE OF CLEARING AREAS.
8. THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE INSTALLED, INSPECTED, AND OPERATING BEFORE ANY GRADING OR EXTENSIVE LAND CLEARING. THESE CONTROLS MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING ARE COMPLETE.
9. TIE IMPERVIOUS SURFACES (ROOF, STREETS, DRIVEWAYS, ETC.) TO COMPLETED DRAINAGE SYSTEM AS SOON AS POSSIBLE.
10. A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION DIVISION AND ALL PERMITS MUST BE COMPLETED BEFORE START OF CONSTRUCTION.
11. CLEARING LIMITS SHALL BE LOCATED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR.
12. APPROVAL OF THIS TEMPORARY EROSION/SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.
13. THIS APPROVAL FOR TESC IS VALID FOR CONSTRUCTION BETWEEN MAY 1 AND SEPTEMBER 30. THIS APPROVAL FOR TESC IS NOT VALID FOR THE RAINY SEASON (OCTOBER 1 THROUGH APRIL 30).
14. REMOVE ALL TESC MEASURES ONCE ALL WORK IS COMPLETED AND SITE IS PERMANENTLY STABILIZED.

ABBREVIATIONS

@	AT
AB	ABANDON, ABANDONED
ADA	AMERICANS WITH DISABILITIES ACT
ADD	ADDITIONAL
AD	AREA DRAIN
ASPH	ASPHALT
BC	BOTTOM OF CURB
BLDG	BUILDING
BMP	BEST MANAGEMENT PRACTICE
BW	BOTTOM OF WALL
CB	CATCH BASIN
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CIP	CAST IN PLACE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONN	CONNECT, CONNECTION
CONT	CONTINUED
COR	CITY OF REDMOND
CP	CONCRETE PIPE
DEMO	DEMOLITION
DI	DUCTILE IRON
DIA	DIAMETER
DS	DOWNSPOUT
E	EAST, EASTING
EA	EACH
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATION
ESC	EROSION AND SEDIMENT CONTROL
EX	EXISTING
EXIST	EXISTING
FD	FOUNDATION DRAIN PERFORATED PIPE
FDCO	FOUNDATION DRAIN CLEAN OUT
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FM	FORCE MAIN
GE	GROUND ELEVATION
GEOTECH	GEOTECHNICAL REPORT
GV	GATE VALVE
HORIZ	HORIZONTAL
HTB	HORIZONTAL THRUST BLOCK
IE	INVERT ELEVATION
IRR	IRRIGATION
JB	JUNCTION BOX
LF	LINEAL FEET
LOC	LOCATION
LOW	LIMITS OF WORK
LT	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
MJ	MECHANICAL JOINT

N	NORTH, NORTHING
NTS	NOT TO SCALE
OC	ON CENTER
OSM	ONSITE STORMWATER MANAGEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PERF	PERFORATED
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PSE	PUGET SOUND ENERGY
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE, POLYVINYL CHLORIDE
	POINT OF VERTICAL INTERSECTION
PVI	
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RJ	RESTRAINED JOINT
ROW	RIGHT OF WAY
RT	RIGHT
S	SOUTH
SD	STORM DRAIN
SF	SQUARE FOOT
SPEC	SPECIFICATIONS
STD	STANDARD
SS	SANITARY SEWER
SW	STORMWATER
TC	TOP OF CURB
TDA	THRESHOLD DISCHARGE AREA
TESC	TEMPORARY EROSION AND SEDIMENTATION CONTROL
	TEMPORARY
TEMP	
TW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VERT	VERTICAL
W	WATER, WEST
W/	WITH
WD	WALL DRAIN PERFORATED PIPE
WM	WATER METER
WS	WATER SURFACE
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

Approved for Construction

Steve Flude, P.E.
City Engineer

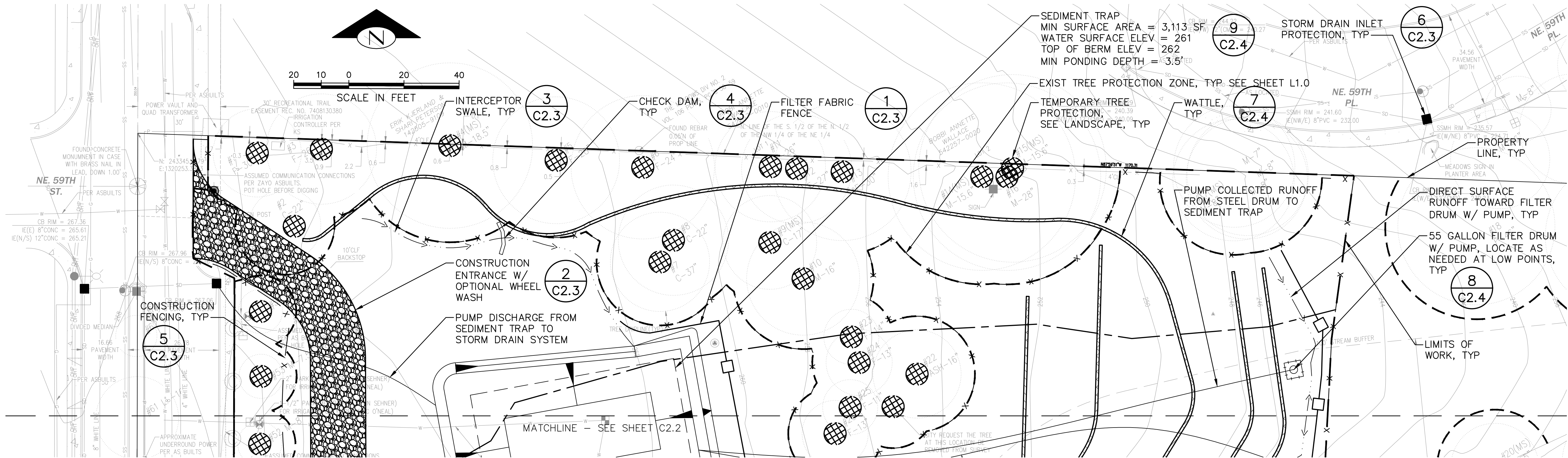
DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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BOARD & VELLUM PROJECT #:	2019176.00
PROJECT #:	500021924
PLOT DATE:	04.30.2020



TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) NOTES

- SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES.
- SEE SHEET C2.2 FOR TESC LEGEND AND TESC RECOMMENDED CONSTRUCTION SEQUENCE.
- THE LIMITS OF WORK SHOWN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED LIMITS OF WORK SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
- THE TESC BMPs SHOWN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS.
- PROTECT EXPOSED SLOPES IN ACCORDANCE WITH DETAIL 10 ON SHEET C2.4.
- REFERENCE TREE PRESERVATION PLAN FOR ALL WORK WITHIN THE TREE PROTECTION ZONE. NO DISTURBANCE IS ALLOWED WITHIN 5 FEET OF DRIP LINES OF TREES TO BE SAVED WITHOUT APPROVAL BY THE CITY OF REDMOND.
- THE EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS ARE CONSIDERED A MINIMUM, AND ADDITIONAL MEASURES MAY BE REQUIRED TO PROTECT ADJACENT PROPERTIES AND RECEIVING WATERS.
- DAMAGE TO ANY DOWNSTREAM SYSTEMS DUE TO IMPROPERLY MAINTAINED EROSION CONTROL FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- BEFORE BEGINNING ANY LAND DISTURBING ACTIVITIES, MARK ALL CLEARING LIMITS, SENSITIVE AREAS AND THEIR BUFFERS, AND TREES THAT ARE TO BE PRESERVED.
- RETAIN THE DUFF LAYER, NATIVE TOP SOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM DEGREE PRACTICABLE.
- ALL EQUIPMENT SHALL BE CLEANED PRIOR TO LEAVING THE SITE. IF THE CONSTRUCTION ENTRANCE IS NOT SUFFICIENT TO PREVENT TRACKING OF SEDIMENT ONTO ROADS, A WHEEL WASH OR TIRE BATHS SHALL BE INSTALLED ON SITE.
- SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING, SWEEPING, OR PICKING UP AND TRANSPORTING THE SEDIMENT TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE CONVEYED TO A SEDIMENT TRAP, OR OTHER SEDIMENT REMOVAL BMP, BEFORE DISCHARGING OFFSITE.
- STABILIZE EXPOSED AND UNWORKED SOILS, INCLUDING STOCKPILES, AND AREAS THAT WILL BE EXPOSED FOR MORE THAN SEVEN DAYS BY APPLICATION OF EFFECTIVE BMPs, INCLUDING, BUT NOT LIMITED TO: TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, PLASTIC

- SHEETING, AND EROSION CONTROL FABRICS AND MATTING.
- SEED OR SOD ANY AREAS TO REMAIN UNCOVERED FOR MORE THAN 30 DAYS.
- DESIGN AND CONSTRUCT CUT-AND-FILL SLOPES IN A MANNER TO MINIMIZE EROSION. DIVERT STORMWATER OR GROUND WATER AWAY FROM SLOPES AND DISTURBED AREAS WITH INTERCEPTOR DIKES, PIPES AND/OR SWALES.
- PROTECT ALL STORM DRAIN INLETS DOWN SLOPE AND WITHIN 100 FEET OF THE SITE.
- CONDUCT MAINTENANCE, FUELING, AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES USING SPILL PREVENTION AND CONTROL MEASURES. CLEAN CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY SPILL INCIDENT.
- APPLY FERTILIZERS AND PESTICIDES IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF.
- USE BMPs TO PREVENT CONTAMINATION OF RUNOFF BY PH-MODIFYING SOURCES.
- PROTECT BIORETENTION AND DISPERSION AREAS FROM SEDIMENTATION. RESTORE FACILITIES TO THEIR FULLY FUNCTIONING CONDITION IF SEDIMENT ACCUMULATES DURING CONSTRUCTION. RESTORATION INCLUDES REMOVAL OF SEDIMENT AND ANY SEDIMENT-LADEN SOILS, AND REPLACEMENT WITH SOILS MEETING THE SPECIFICATIONS.
- KEEP ALL HEAVY EQUIPMENT OFF EXISTING SOILS UNDER BIORETENTION FACILITIES THAT HAVE BEEN EXCAVATED TO FINAL GRADE TO RETAIN THE INFILTRATION RATE OF THE SOILS. PREVENT COMPACTING CONSTRUCTED BIORETENTION FACILITIES BY EXCLUDING CONSTRUCTION EQUIPMENT AND FOOT TRAFFIC.
- EXCAVATION SITE DEWATERING THAT INCLUDES DISCHARGE TO THE STREET, CATCH BASIN, OR SEWER SHALL BE IMPLEMENTED ONLY AFTER APPROVAL BY THE CITY OF REDMOND INSPECTOR.
- CLEARING, GRADING AND OTHER SOIL DISTURBING ACTIVITIES MUST BE STABILIZED BY OCTOBER 1, AND SHALL NOT BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 30 WITHOUT CITY OF REDMOND APPROVED WET WEATHER AND SEASONAL SUSPENSION PLANS.
- CONTROL DUST IN COMPLIANCE WITH THE PUGET SOUND CLEAN AIR AGENCY.
- WORK IN CRITICAL AREAS MUST CONFORM TO THE CITY OF REDMOND'S CRITICAL AREAS ORDINANCE.

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



ISSUANCES

DATE DESCRIPTION

02.26.2020 30% PLANS

04.20.2020 60% PLANS

04.30.2020 SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE: 22x34"

BOARD & VELLUM PROJECT #: 2019176.00

PROJECT #:

500021924

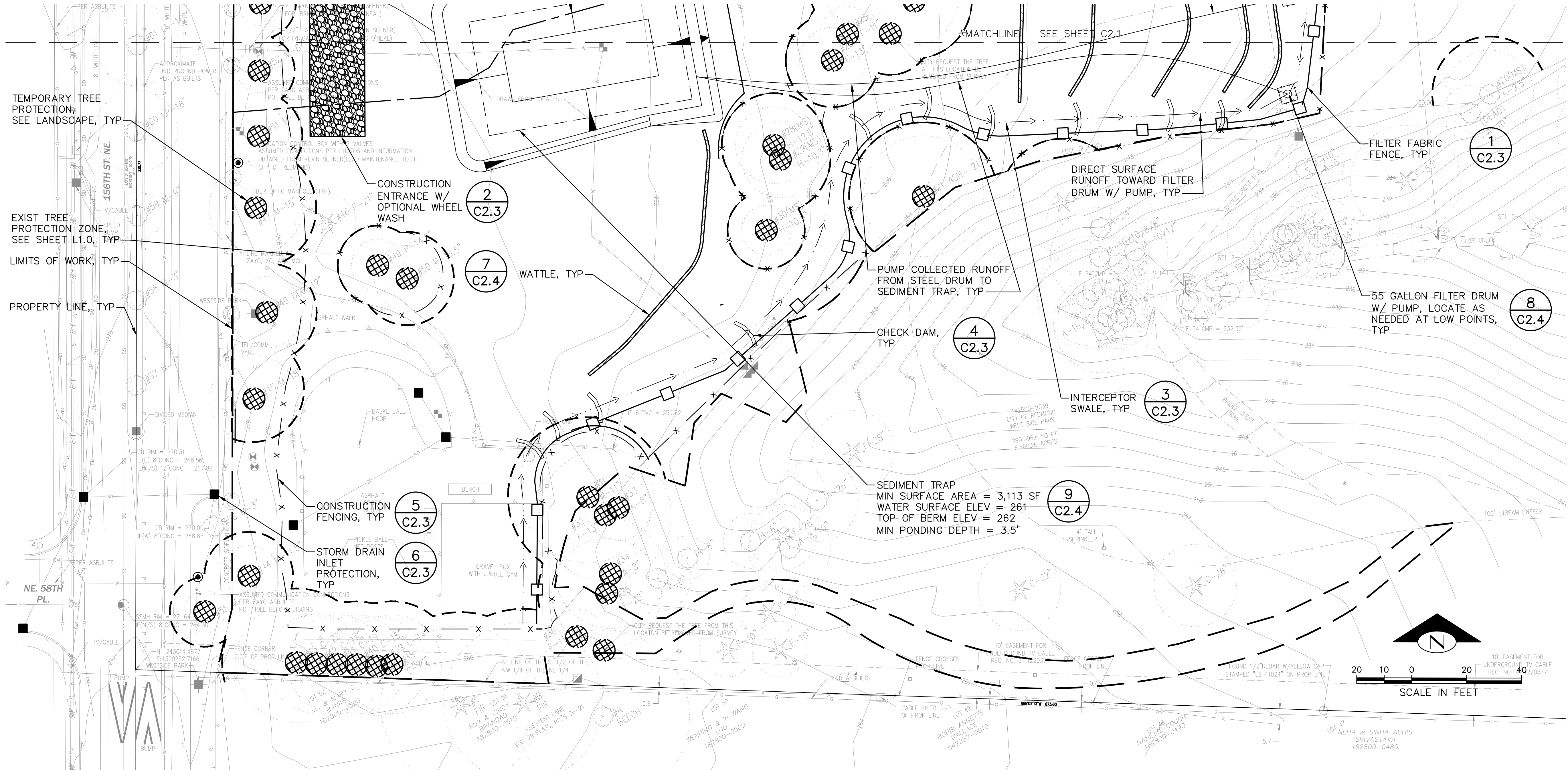
PLOT DATE:

04.30.2020

SHEET:

TESC PLAN NORTH

C2.1



TESC LEGEND

- — — — — LIMITS OF WORK (LOW)
- - - - - TREE PROTECTION ZONE
- — — — — — FILTER FABRIC FENCE 1
C2.3
- — — — — — CONSTRUCTION ENTRANCE 2
C2.3
- — — — — INTERCEPTOR SWALE 3
C2.3
- — — — — CHECK DAM 4
C2.3
- — — — — CONSTRUCTION FENCING 5
C2.3
- — — — — — STORM DRAIN INLET PROTECTION 6
C2.3
- — — — — WATTLE 7
C2.4
- — — — — — FILTER DRUM W/ PUMP 8
C2.4
- — — — — TEMPORARY TREE PROTECTION, SEE LANDSCAPE
- — — — — SEDIMENT TRAP WATER SURFACE 9
C2.4

TESC RECOMMENDED CONSTRUCTION SEQUENCE

1. PRE-CONSTRUCTION MEETING WITH CITY OF REDMOND.
2. FENCE CLEARING LIMITS AND INSTALL TREE PROTECTION.
3. INSTALL STORM DRAIN INLET PROTECTION AND CONSTRUCTION ENTRANCE.
4. INSTALL PERIMETER PROTECTION (FILTER FABRIC FENCE, WATTLES, ETC.)
5. INSPECT, MAINTAIN AND REPAIR ALL BMPs DAILY OR AS DIRECTED BY THE CITY OF REDMOND CONSTRUCTION INSPECTOR TO ENSURE CONTINUED PERFORMANCE OF INTENDED FUNCTION.
6. KEEP ALL ADJACENT STREETS SWEEPED CLEAN AND FREE FROM CONSTRUCTION SEDIMENT AND DEBRIS.
7. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH CITY OF REDMOND STANDARDS.
8. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
9. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED WHEN APPROPRIATE.

TESC NOTES

1. SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES.
2. SEE SHEET C2.1 FOR ADDITIONAL TESC NOTES.

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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ISSUANCES

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02.26.2020 30% PLANS

04.20.2020 60% PLANS

04.30.2020 SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE: 24" X 36"

BOARD & VELLUM PROJECT #: 2019176.00

PROJECT #: 500021924

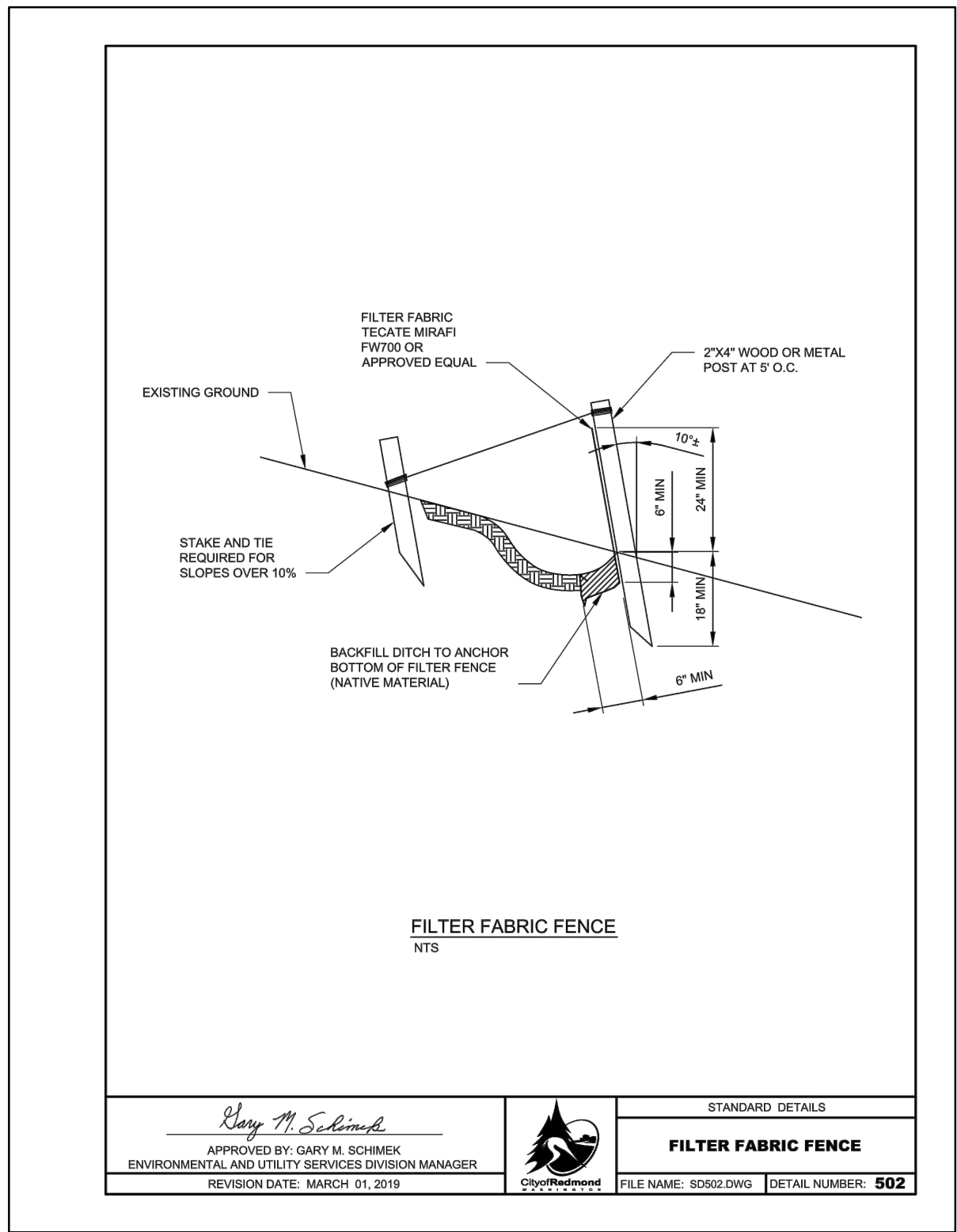
PLOT DATE: 04.30.2020

SHEET:

TESC PLAN SOUTH

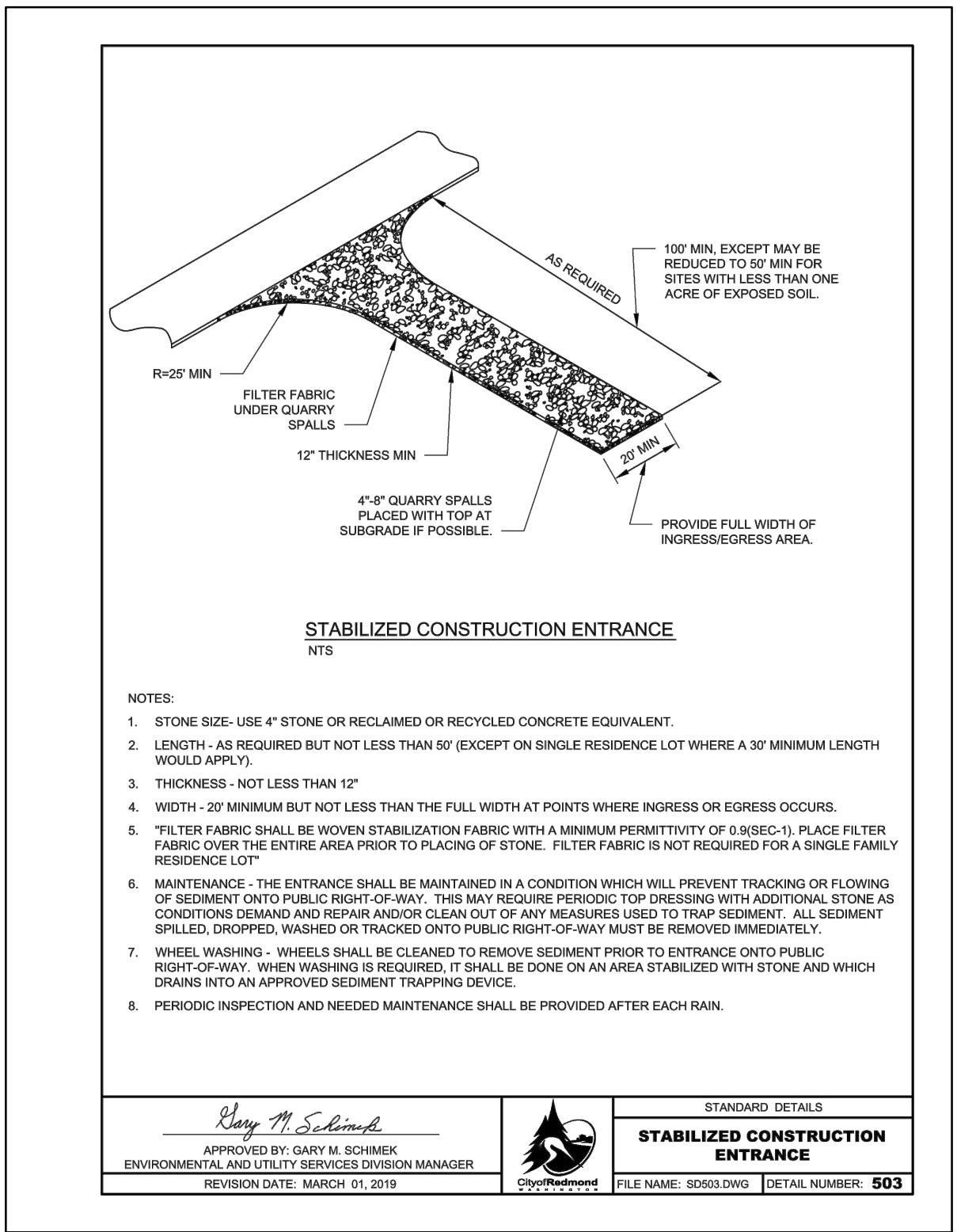
C2.2

SHEET NO.: 10 OF 35



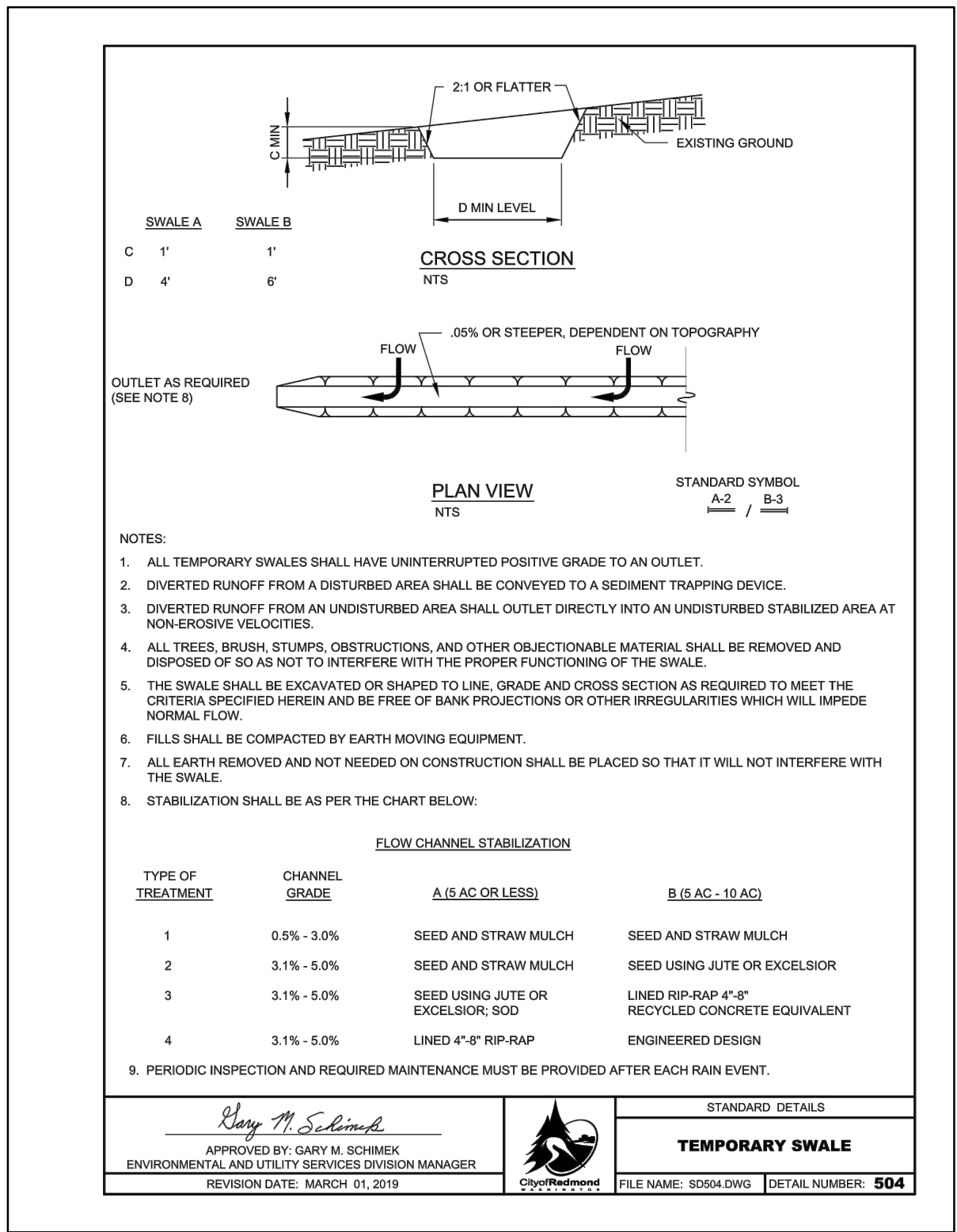
FILTER FABRIC FENCE
NTS

1
C2.1,C2.2



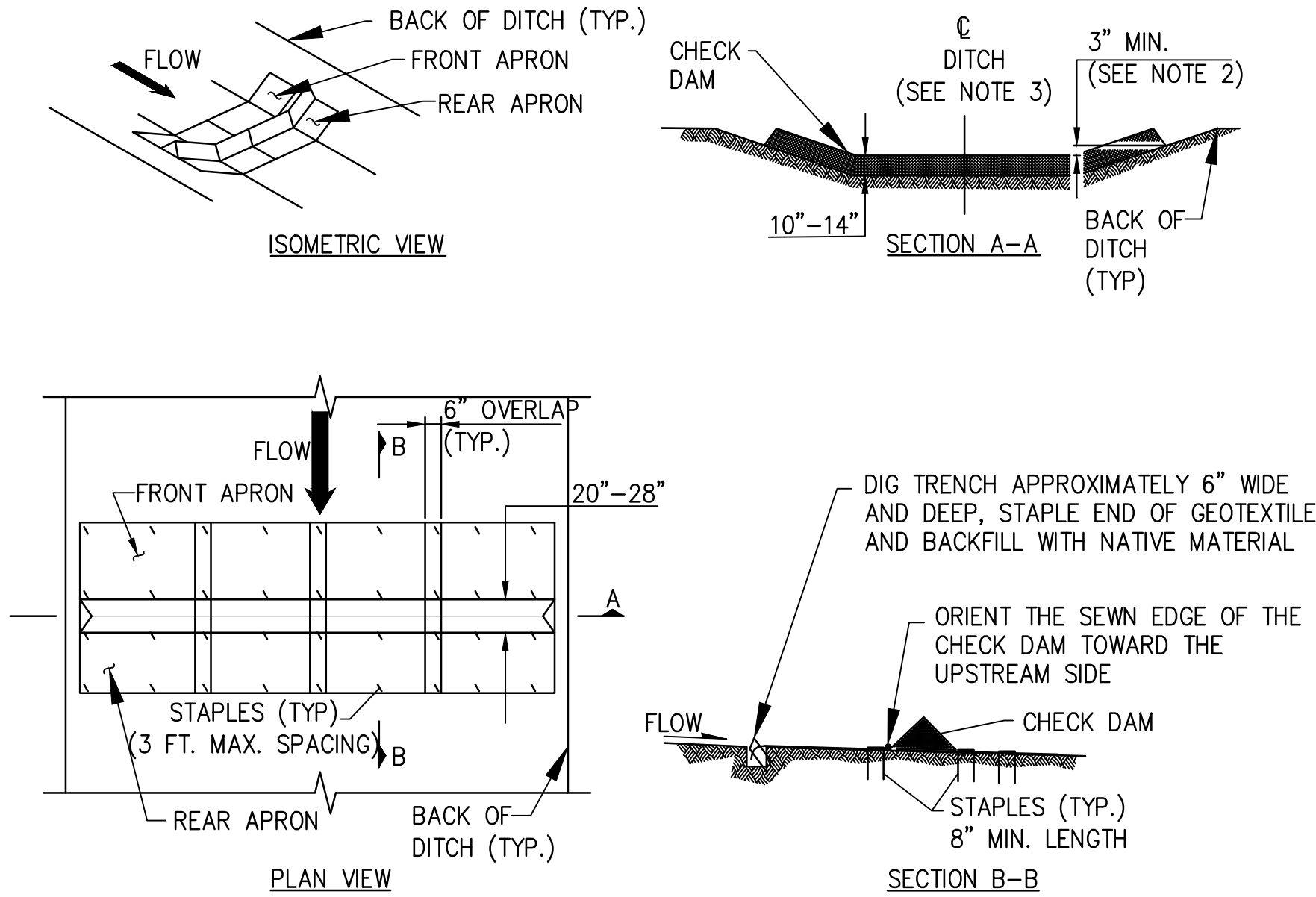
CONSTRUCTION ENTRANCE W/ OPTIONAL
WHEEL WASH
NTS

2
C2.1,C2.2



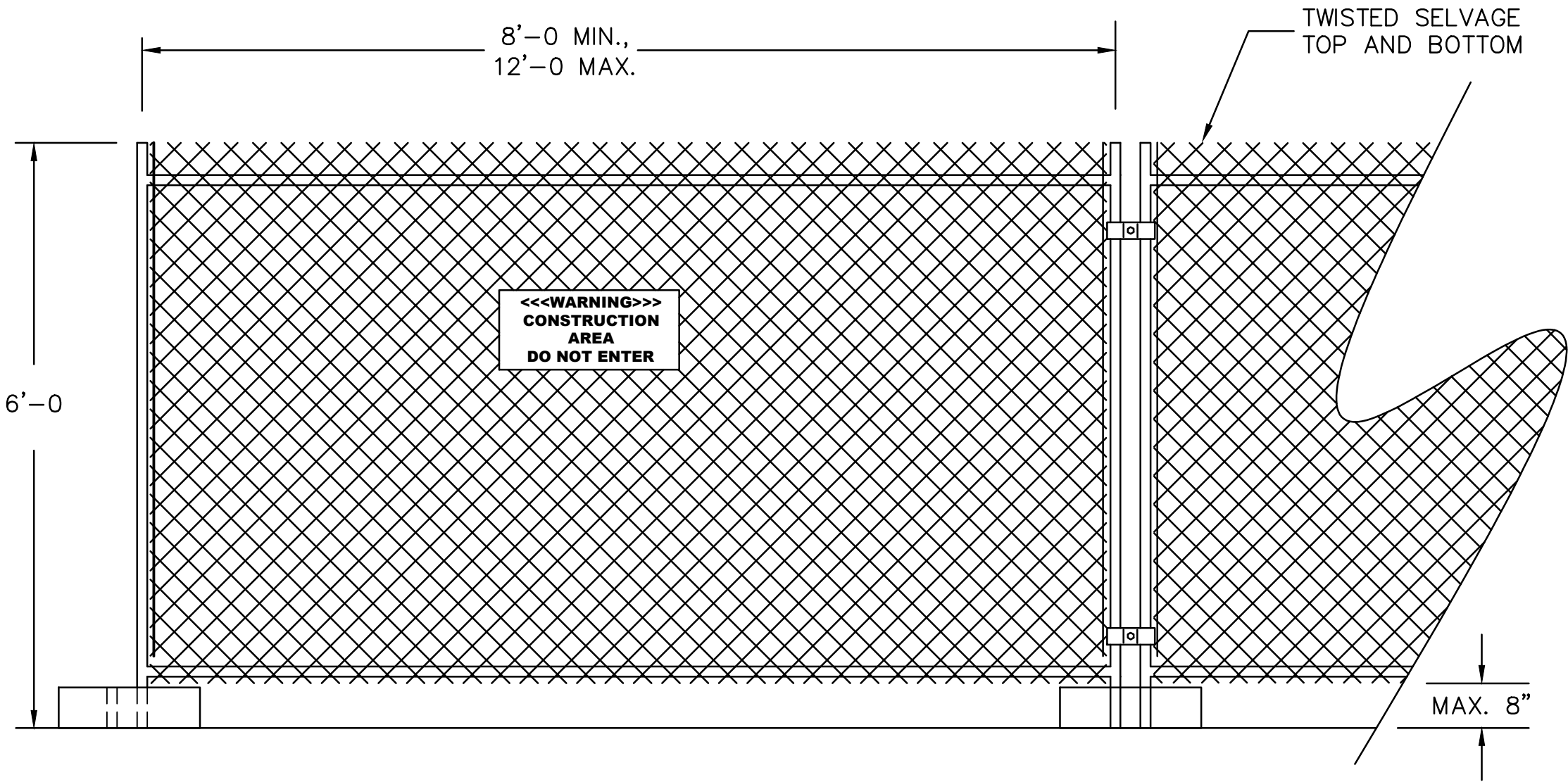
INTERCEPTOR SWALE
NTS

3
C2.1,C2.2



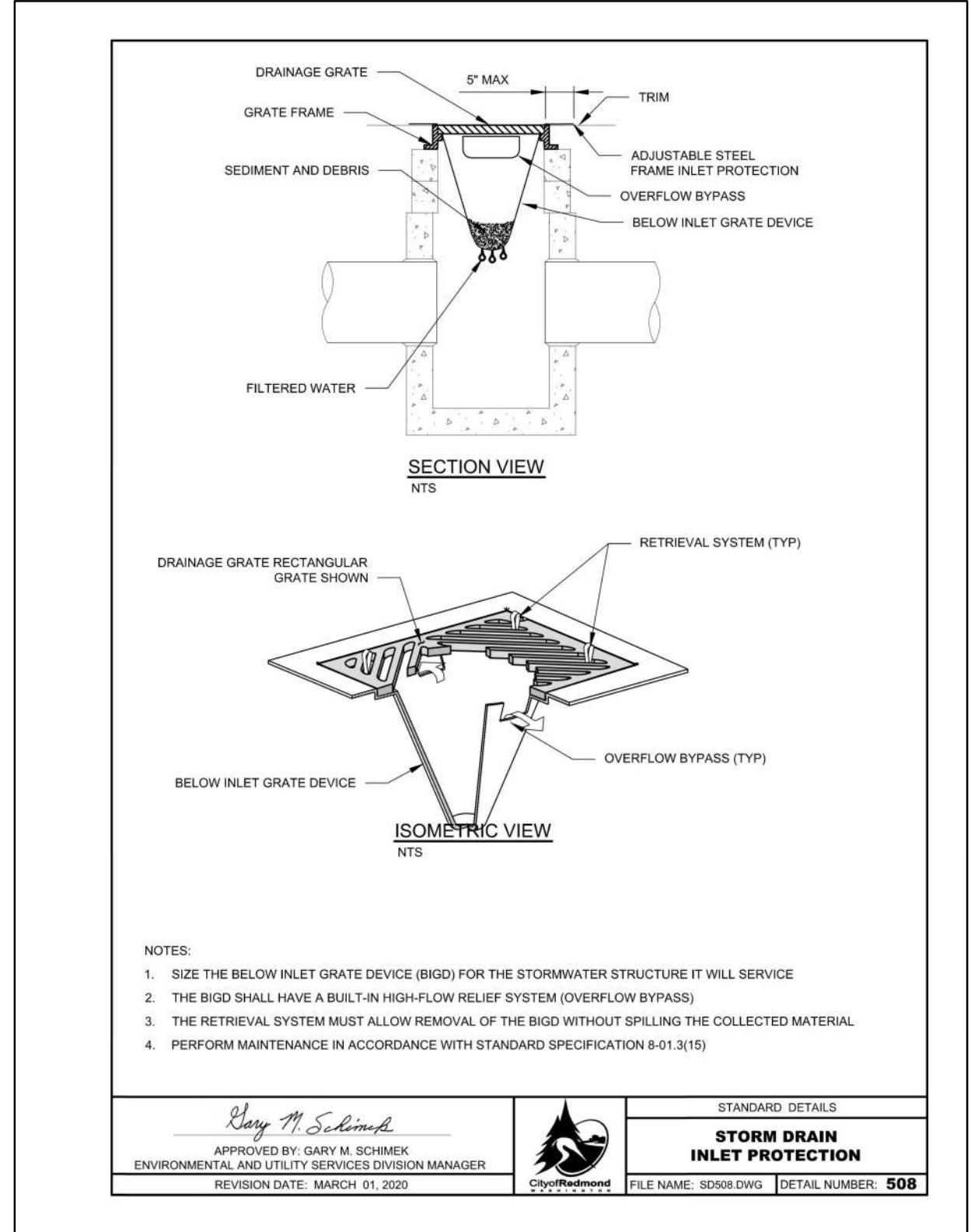
CHECK DAM
NTS

4
C2.1,C2.2



CONSTRUCTION FENCING
NTS

5
C2.1,C2.2



STORM DRAIN INLET PROTECTION
NTS

6
C2.1,C2.2

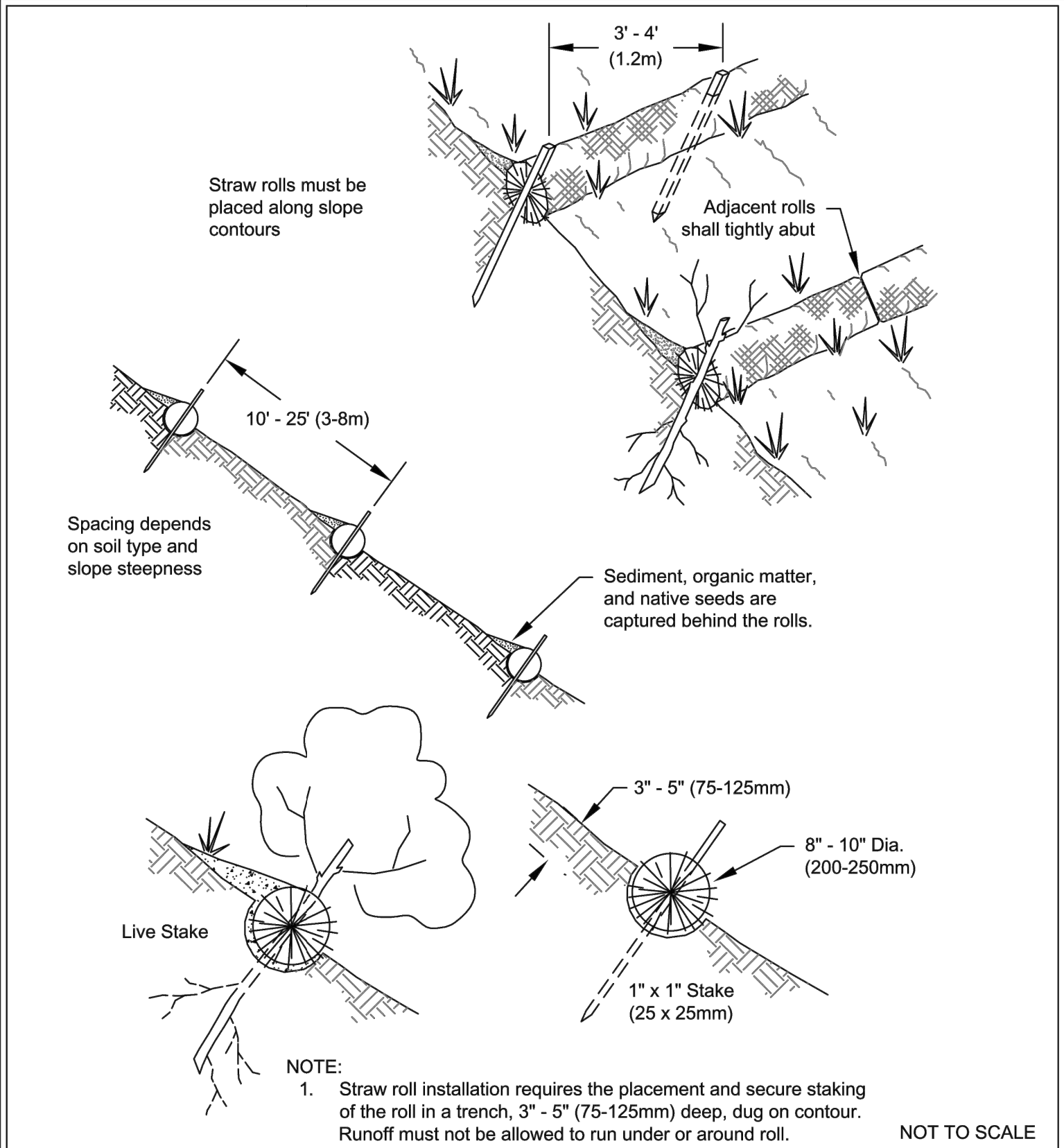


Figure II-4.2.14
Wattles

Revised November 2015

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WATTLE
NTS

7
C2.1,C2.2

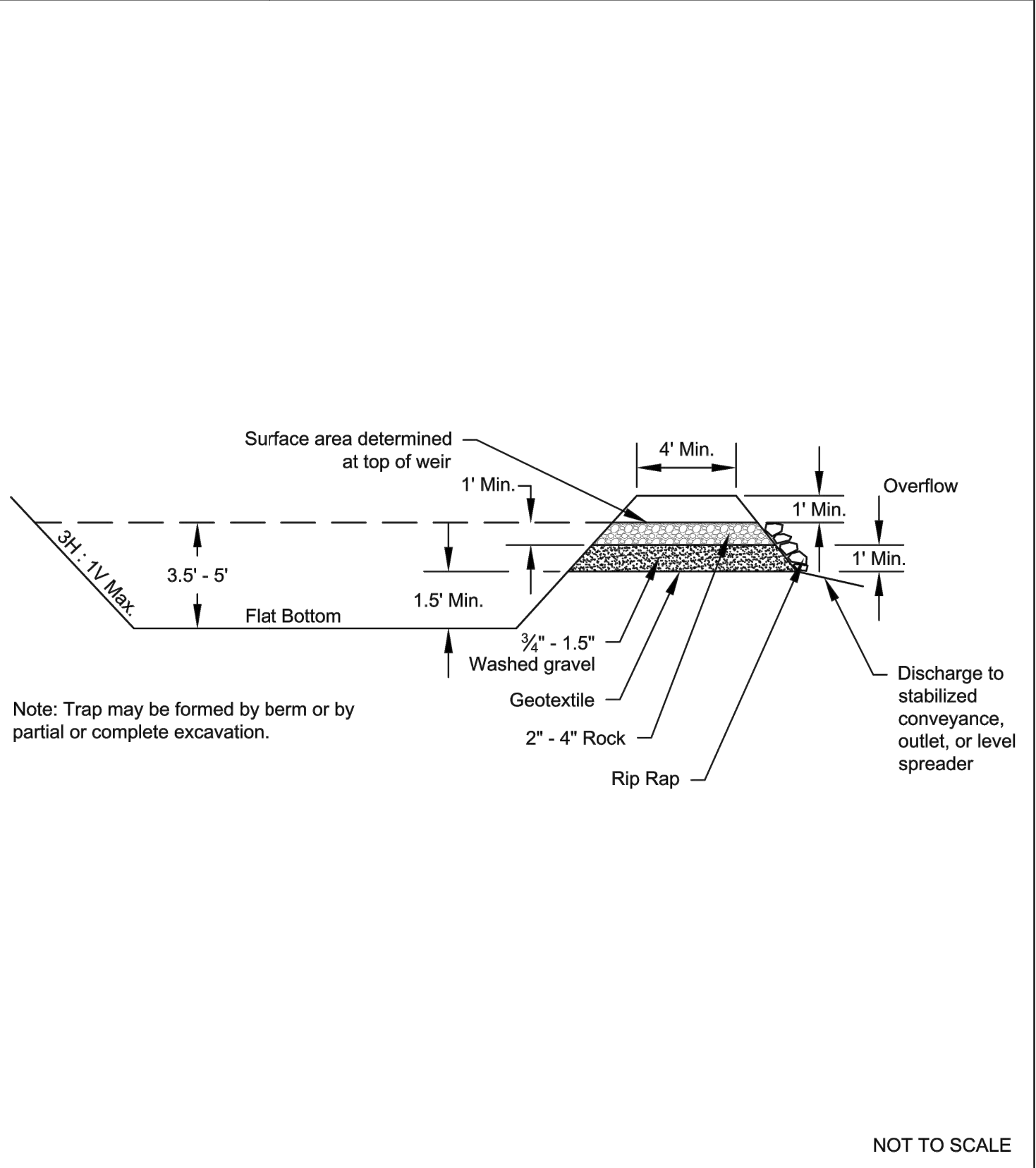


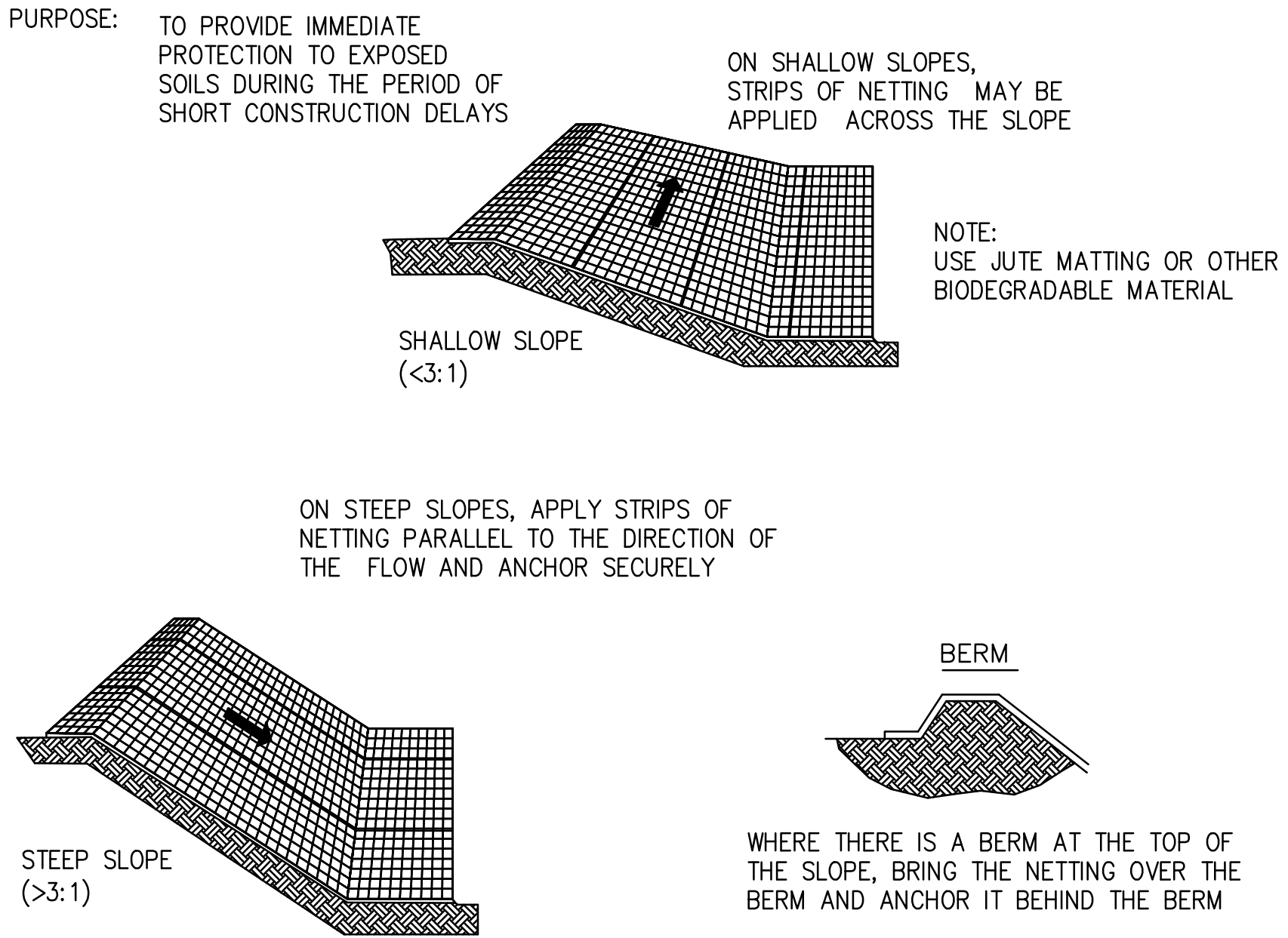
Figure II-4.2.16
Cross Section of Sediment Trap

Revised November 2015

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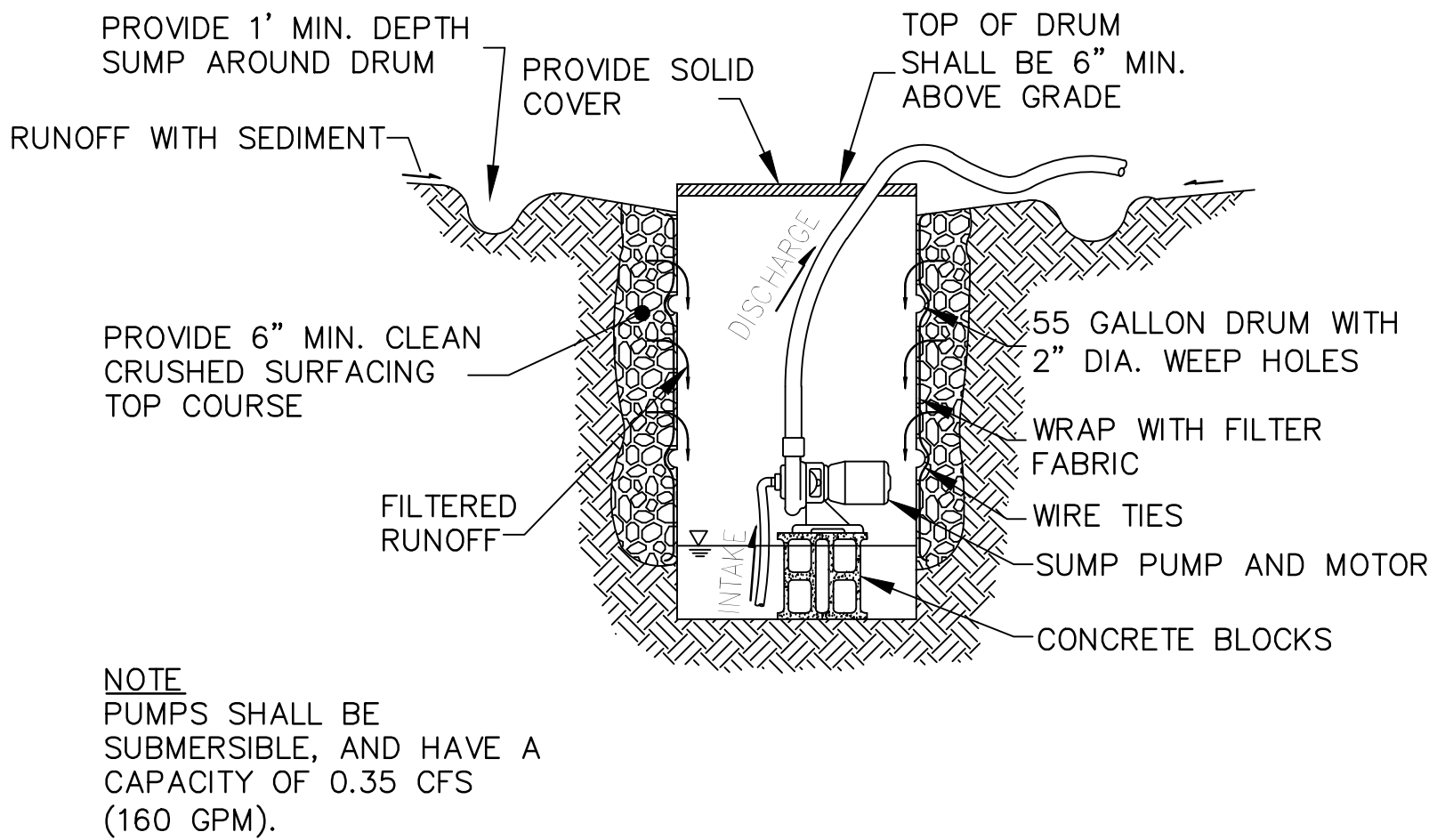
SEDIMENT TRAP
NTS

9
C2.1,C2.2



TEMPORARY SLOPE PROTECTION
NTS

10
C2.1



FILTER DRUM W/ PUMP
NTS

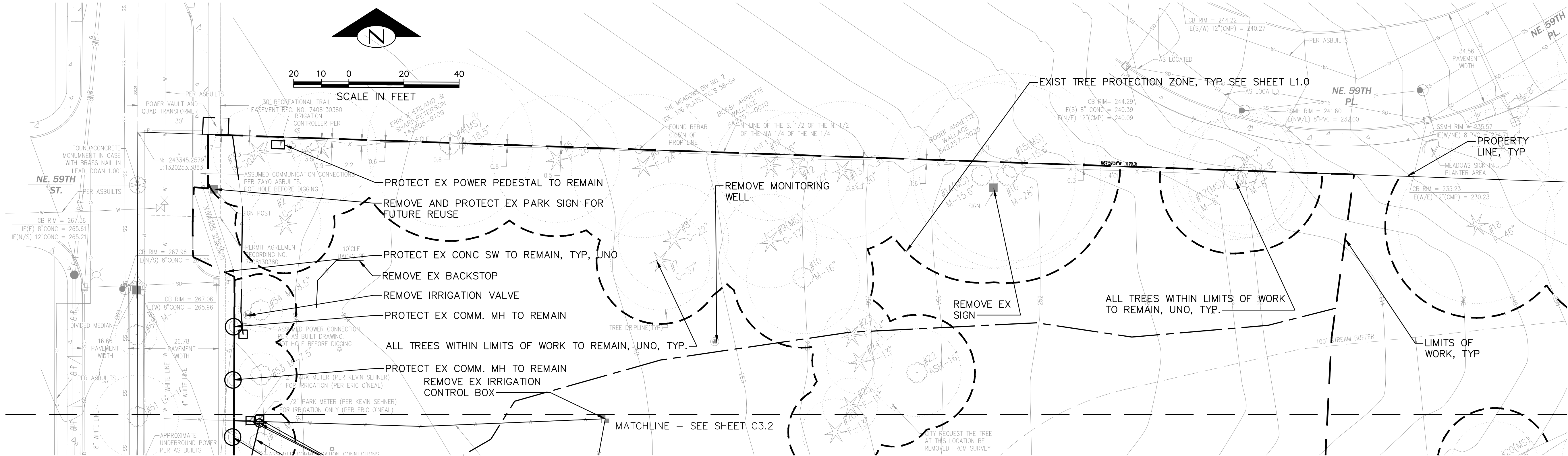
8
C2.1,C2.2

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



DEMOLITION NOTES

- SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY AND SECURITY DEVICES AS NECESSARY FOR THE PROTECTION OF THE ADJACENT EXISTING IMPROVEMENTS.
- REFERENCE THE DRAFT GEOTECHNICAL REPORT PREPARED BY ASSOCIATED EARTH SCIENCES, INC, DATED JAN 23, 2020 FOR REQUIREMENTS AND RECOMMENDATIONS INCLUDING CLEARING AND SITE PREPARATION, EXCAVATION, TEMPORARY CUT SLOPES AND OTHER EARTHWORK CONSIDERATIONS.
- NA
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT AND/OR CAPPING OF EXISTING UTILITIES WITH THE APPLICABLE UTILITY AGENCY, INCLUDING BUT NOT LIMITED TO EXISTING WATER CONNECTIONS.
- EXCAVATION FOR REMOVAL OF FOUNDATIONS, SLABS ON GRADE AND UTILITIES SHALL BE IN ACCORDANCE WITH THE DRAFT GEOTECHNICAL REPORT PREPARED BY ASSOCIATED EARTH SCIENCES, INC, DATED JAN 23, 2020 . THE CONTRACTOR SHALL COMPLY WITH THE REPORT RECOMMENDATIONS FOR TEMPORARY CONSTRUCTION SLOPES AND SHALL NOT EXCEED THOSE SLOPES WITHOUT PRIOR APPROVAL OF THE GEOTECHNICAL ENGINEER.
- CAP OR PLUG UTILITY SERVICES AT THE LIMITS OF EXCAVATION OR AT THE LIMITS OF WORK, UNLESS NOTED OTHERWISE.
- DEMOLITION ASSOCIATED WITH ELECTRICAL LINES AND APPURTENANCES SHALL BE COORDINATED WITH THE ELECTRICAL DRAWINGS. DEMOLITION FOR SPECIFIC ELECTRICAL ITEMS INDICATED ON THE DEMOLITION PLANS SHALL NOT BE CARRIED OUT UNTIL POWER SOURCES TO THE

- ITEMS INDICATED FOR REMOVAL HAVE BEEN MADE SAFE.
- REMOVE EXISTING CONCRETE AND ASPHALT PAVEMENT TO FULL DEPTH.
- PROTECT ALL EXISTING STRUCTURES AND FOUNDATIONS TO REMAIN WITHIN THE LIMITS OF WORK DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED IN ORDER TO NOT IMPACT EXISTING STRUCTURES, FOUNDATIONS AND RETAINING WALLS.
- CAP ALL REMOVED UTILITIES ON PLAN AT LOCATION DESIGNATED BY ENGINEER.
- PROTECT ALL EXISTING UTILITIES TO REMAIN FROM DAMAGE AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED TO ENSURE ADEQUATE PROTECTION OF UTILITIES TO REMAIN AND THEIR APPURTENANCES. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- PROTECT ALL TREES TO REMAIN FROM DAMAGE DURING CONSTRUCTION IN ACCORDANCE WITH THE TREE PROTECTION PLAN AND THE ARBORIST REPORT.
- ANY WORK TO BE DONE WITHIN A TREE PROTECTION ZONE AS NOTED ON THE TREE PROTECTION PLAN MUST BE DONE BY HAND OR AIR SPADE.
- LIMITS OF TREE REMOVAL SHALL INCLUDE STUMPS AND ROOTS TO A MINIMUM OF THREE FEET BELOW FINISH GRADE.
- REFERENCE TREE PRESERVATION PLAN FOR ALL WORK WITHIN THE TREE PROTECTION ZONE.
- CONTRACTOR TO MAINTAIN AN 8' CORRIDOR BETWEEN 156TH ST NE TO THE BRIDLE TRAILS TRAILHEAD AT ALL TIMES DURING CONSTRUCTION.

DEMOLITION LEGEND

- LIMITS OF WORK
- TREE PROTECTION ZONE
- ITEM TO REMAIN OR BE ABANDONED
- ITEM TO BE REMOVED OR SALVAGED

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

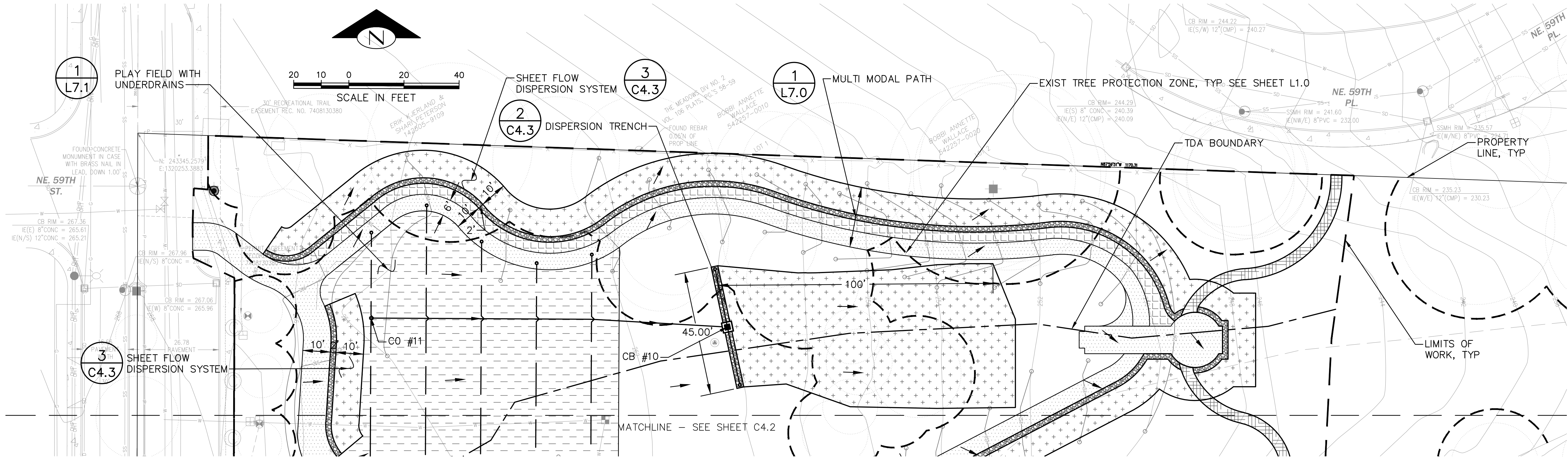
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ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE: 24" X 36"

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924
PLOT DATE: 04.30.2020



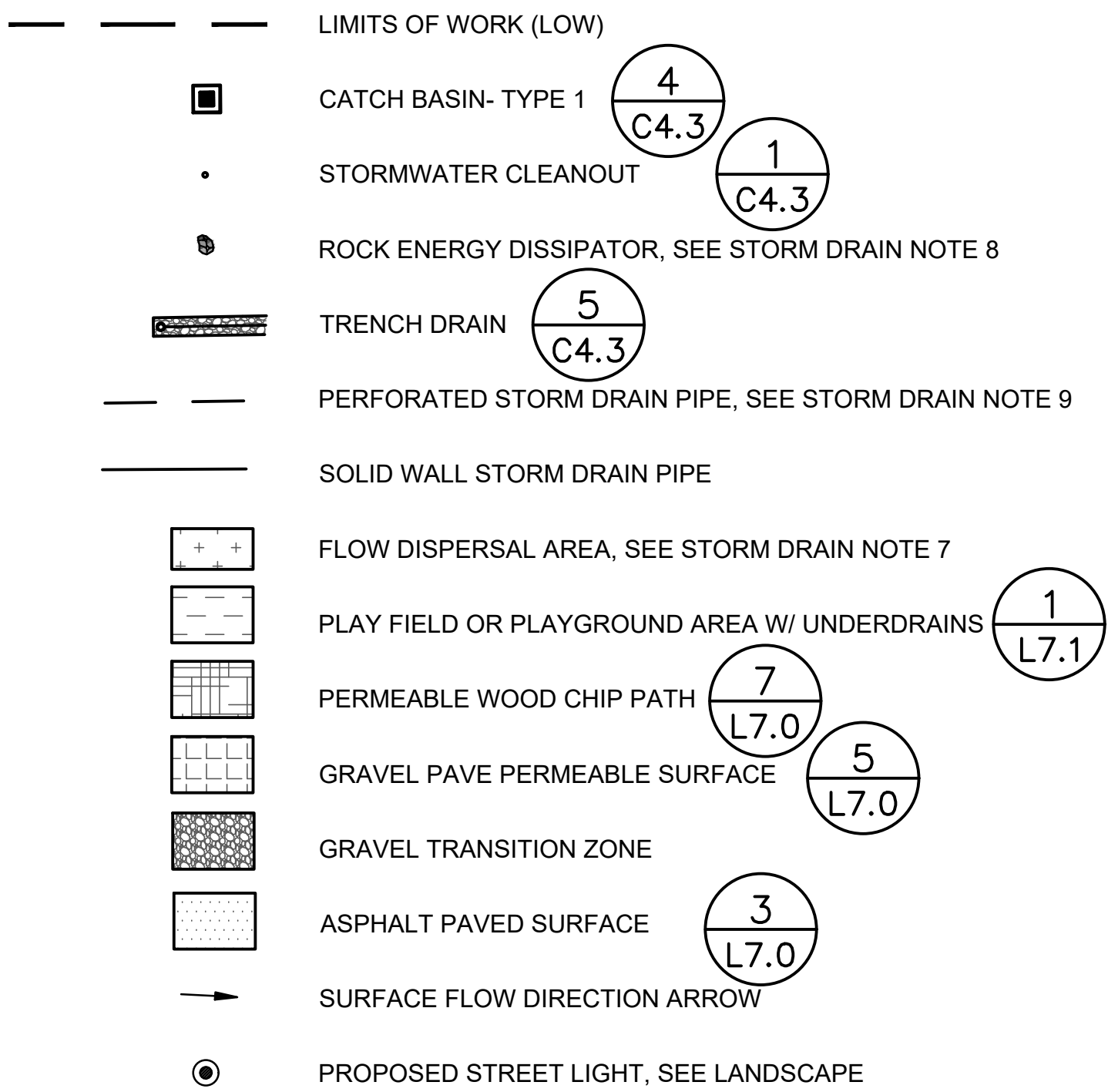
STORM DRAIN NOTES

- 1. SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES
- 2. SEE SHEET C4.2 FOR A STORM DRAIN VALUE TABLE.
- 3. GRADING AND SITE LAYOUT IS DESIGNED AND DETAILED ON OTHER PLAN SHEETS BY BOARD & VELLUM. PLEASE REFERENCE THESE SHEETS FOR ADDITIONAL INFORMATION. ELEMENTS OF THESE PLANS ARE SHOWN ON THE SD & UTILITY PLAN FOR COORDINATION AND COMPREHENSION.
- 4. THE LIMITS OF WORK SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED LIMITS OF WORK SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
- 5. REFERENCE THE TREE PRESERVATION PLAN FOR ALL WORK WITHIN TREE PROTECTION ZONE.
- 6. ALL STORMWATER AND UTILITY STRUCTURES MUST HAVE NON SKID LIDS.
- 7. ALL DISPERSAL AREAS MUST BE UNDISTURBED NATIVE SOILS OR AMENDED SOILS THAT MEET COR BMP T5.13.
- 8. ROCK ENERGY DISSIPATOR SHALL BE FIELD LOCATED TO PROVIDE PROTECTION FOR LOW AND HIGH DESIGN FLOWS. ROCK SHALL BE 2-IN TO 8-IN RIPRAP WITH A MINIMUM THICKNESS OF 1-FOOT. FIELD LOCATE ROCKS TO DIRECT FLOW PERPENDICULAR TO CONTOURS.
- 9. UNDERDRAINS SHALL BE 6" DIAMETER PERFORATED PVC PER WSDOT STANDARD SPECIFICATION 9-05.2(6).
- 10. EXISTING STORM DRAIN PIPE UNDER SPORT COURT TO REMAIN WILL BE ABANDONED IN PLACE. EXISTING STORM DRAIN OUTSIDE OF THIS AREA WILL BE REMOVED. SEE DEMO PLAN SOUTH, SHEET C3.2 FOR ADDITIONAL INFORMATION.

ONSITE STORMWATER MANAGEMENT NOTES

- 1. ONSITE STORMWATER MANAGEMENT (OSM) IS REQUIRED FOR THIS PROJECT BY THE CITY OF REDMOND.
- 2. OSM IS MET WITH THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPS):
 - 2.1. AMENDED SOILS IN ALL AREAS OF NEW AND REPLACED LANDSCAPE.
 - 2.2. BIORETENTION FACILITY WITH UNDERDRAINS FOR SPORTS COURTS, PICNIC SHELTER AND ADJACENT IMPERVIOUS PATHS.
 - 2.3. SHEET FLOW DISPERSAL FOR PATHS.
 - 2.4. CONCENTRATED FLOW DIPERSAL FOR PLAY FIELD.
 - 2.5. IN ADDITION TO THE BMPS NOTED ABOVE, SIGNIFICANT EXISTING TREES AS WELL AS PROPOSED TREES PROVIDE ADDITIONAL BENEFIT.
- 3. ADDITIONAL OSM INFORMATION AND DOCUMENTATION IS LOCATED IN THE STORM DRAIN REPORT.

STORM DRAIN LEGEND

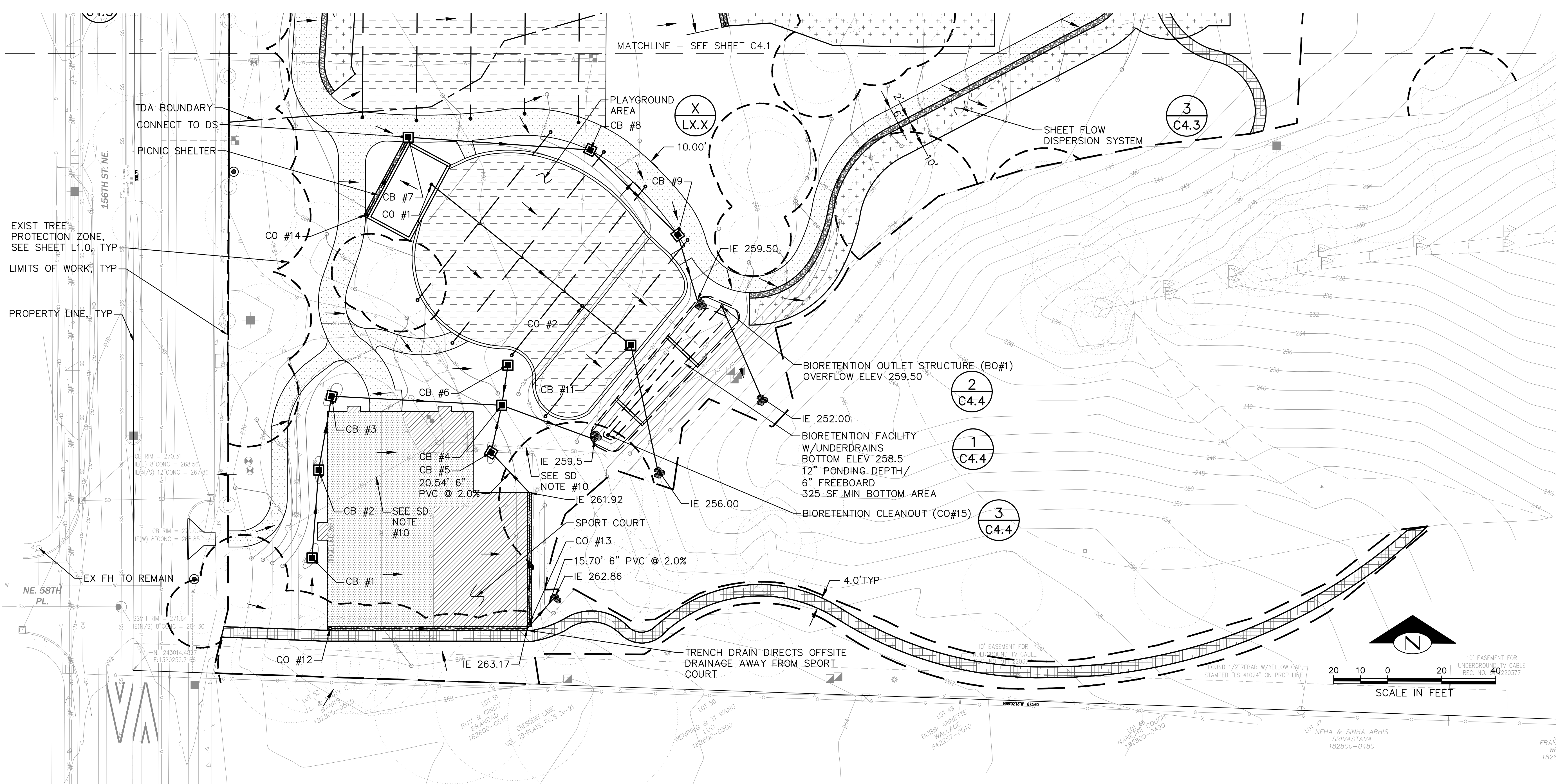


Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



STORM DRAIN VALUE TABLE

ID	RIM	IE IN	IE OUT	TYPE	FRAME AND GRATE	PIPE TYPE OUT	PIPE DIAM. OUT (IN)	PIPE LENGTH OUT (FT)	PIPE SLOPE OUT
BO#1	259.50	255.19	253.00	PER PLANS	PER PLANS	PVC	12	36.84	2.71%
CB#1	265.90	NA	263.40	TYPE 1	VANED GRATE	PVC	6	32.64	2.00%
CB#2	265.90	262.75	262.75	TYPE 1	VANED GRATE	PVC	6	27.76	2.00%
CB#3	265.60	262.19	262.19	TYPE 1	VANED GRATE	PVC	6	63.05	3.16%
CB#4	264.00	260.20	260.03	TYPE 1	SOLID	DI	8	35.78	1.49%
CB#5	264.90	261.50	261.50	TYPE 1	VANED GRATE	PVC	6	17.92	7.25%
CB#6	263.00	NA	260.50	TYPE 1	VANED GRATE	PVC	6	15.01	2.00%
CB#7	264.50	NA	262.00	TYPE 1	VANED GRATE	DI	6	67.54	1.90%
CB#8	262.39	260.72	260.72	TYPE 1	VANED GRATE	DI	6	45.13	1.90%
CB#9	261.60	259.86	259.86	TYPE 1	VANED GRATE	DI	6	25.4	1.42%
CB#10	260.00	256.90	256.90	TYPE 1	SOLID LOCKING	PVC	6 PERF	NA	1.00%
CB#11	261.10	257.50	257.50	TYPE 1	SOLID LOCKING	PVC	6	46.99	3.19%
CO#1	264.50	262.00	262.00	STD	SOLID	PVC	6	71.69	4.18%
CO#2	262.70	259.00	259.00	STD	SOLID	PVC	6	23.13	6.49%
CO#11	264.30	NA	261.20	STD	SOLID	PVC	6	129.37	3.32%
CO#12	266.40	NA	263.90	STD	SOLID	PVC	6 PERF	73	1.00%
CO#13	264.90	NA	262.40	STD	SOLID	PVC	6 PERF	48.5	1.00%
CO#14	265.00	NA	262.50	STD	SOLID	PVC	6 PERF	32.47	1.54%
CO#15	260.00	NA	255.83	PER PLANS	PER PLANS	PVC	6 PERF	63.62	1.00%

GENERAL NOTES

- SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD PLANS.

STORM DRAIN NOTES

- SEE SHEET C4.1
- SEE SHEET C4.1 FOR STORM DRAIN LEGEND

ONSITE SW MANAGEMENT (OSM) NOTES

- SEE SHEET C4.1

Approved for Construction

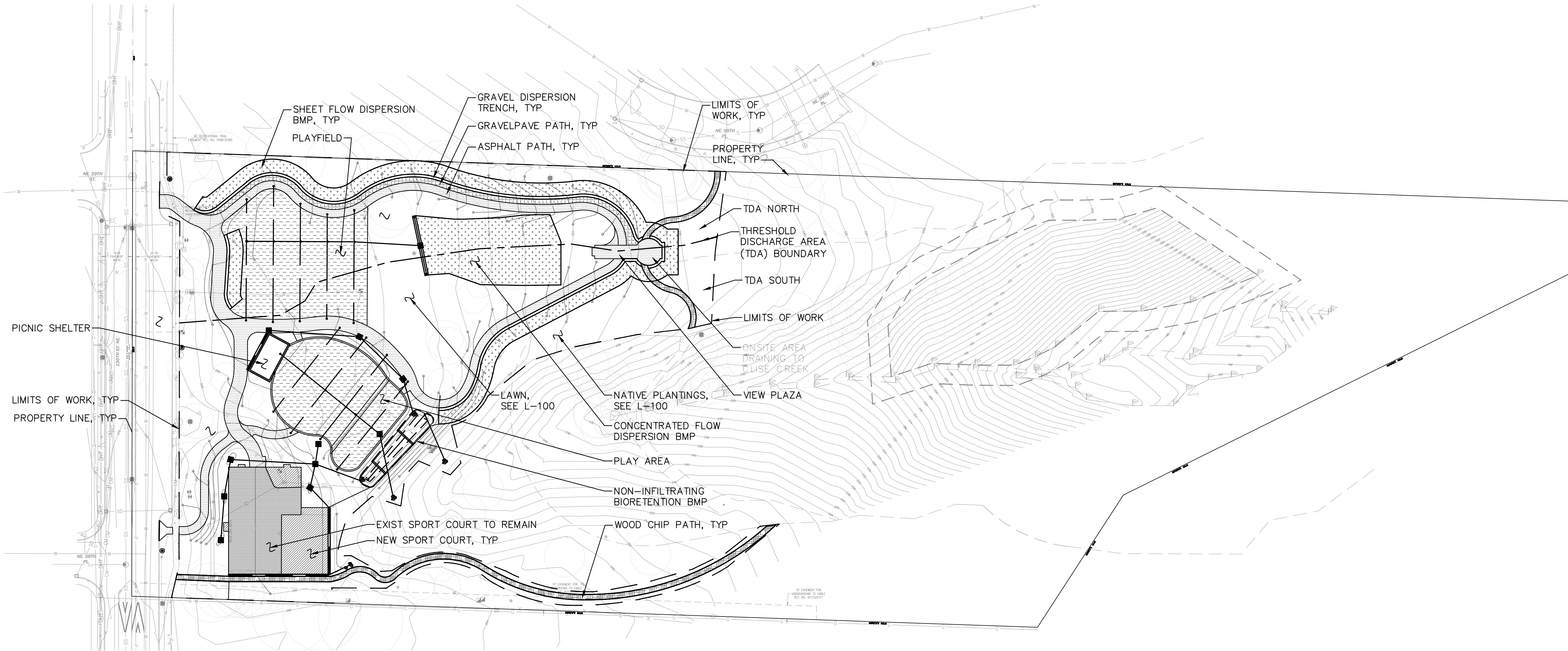
Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.

DRAINAGE OVERVIEW NOTES

1. SEE SHEET C1.0 FOR GENERAL NOTES, ABBREVIATIONS AND CITY OF REDMOND STANDARD NOTES.
2. THIS DRAINAGE AREAS PLAN IS INCLUDED FOR REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.



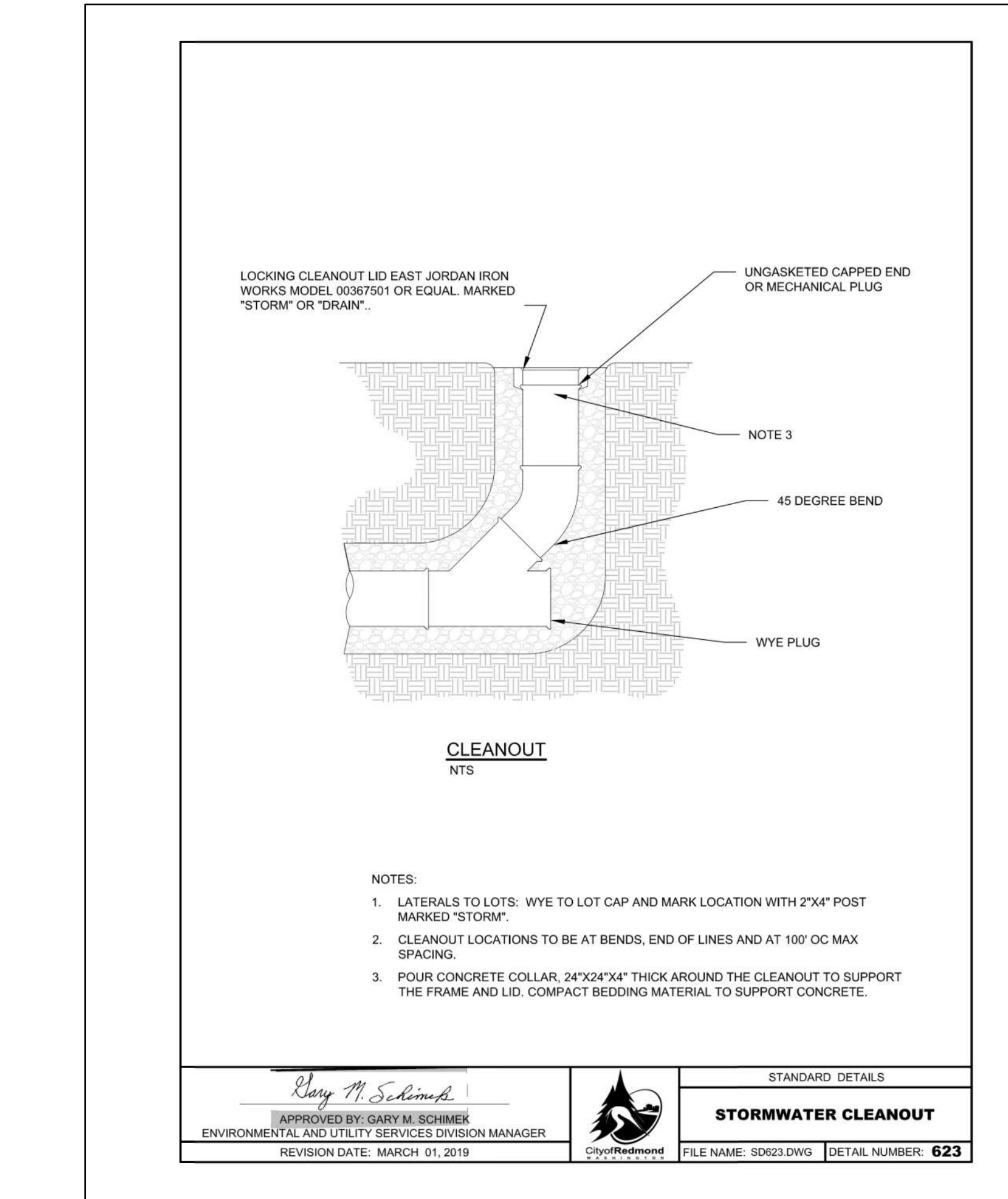
	TOTAL SITE		TDA SOUTH		TDA NORTH	
	SF	AC	SF	AC	SF	AC
LIMITS OF WORK	91,584	2.102	59,086	1.356	32,498	0.746
EXISTING AREAS						
Hard Surfaces (Walkways & Sport Court)	7,858	0.180	7,858	0.180	0	0.000
Pervious (Lawn/Landscaping)	83,726	1.922	51,228	1.176	32,498	0.746
PROPOSED AREAS						
PROPOSED ROOF AREAS (Picnic Shelter)	576	0.013	576	0.013	0	0.000
TOTAL PROPOSED NON-ROOF HARD SURFACES						
Sport Court	2,032	0.047	2,032	0.047	0	0.000
Asphalt Paths	8,337	0.191	4,783	0.110	3,554	0.082
View Plaza	680	0.016	680	0.016	0	0.000
Gravel Dispersion Trenches	1,479	0.034	615	0.014	864	0.020
TOTAL PROPOSED PERVIOUS SURFACES						
Permeable Play Area with Underdrains	6,513	0.150	6,513	0.150	0	0.000
Permeable Gravel Pave Paths	1,460	0.034	0	0.000	1,460	0.034
Permeable Wood Chip Paths	2,469	0.057	2,145	0.049	324	0.007
Playfield (Fertilized Lawn with Underdrains)	8,738	0.201	1,570	0.036	7,168	0.165
Fertilized Lawn	19,618	0.450	12,310	0.283	7,308	0.168
Native Plantings	36,387	0.835	24,567	0.564	11,820	0.271
TOTAL NEW PLUS REPLACED HARD SURFACES						
EXISTING HARD SURFACE TO REMAIN (Sport Court)	3,295	0.076	3,295	0.076	0	0.000
TOTAL PERVIOUS SURFACING MATERIALS	10,442	0.240	8,658	0.199	1,784	0.041
TOTAL LANDSCAPING	64,743	1.486	38,447	0.883	26,296	0.604

Approved for Construction

Steve Flude, P.E.
City Engineer

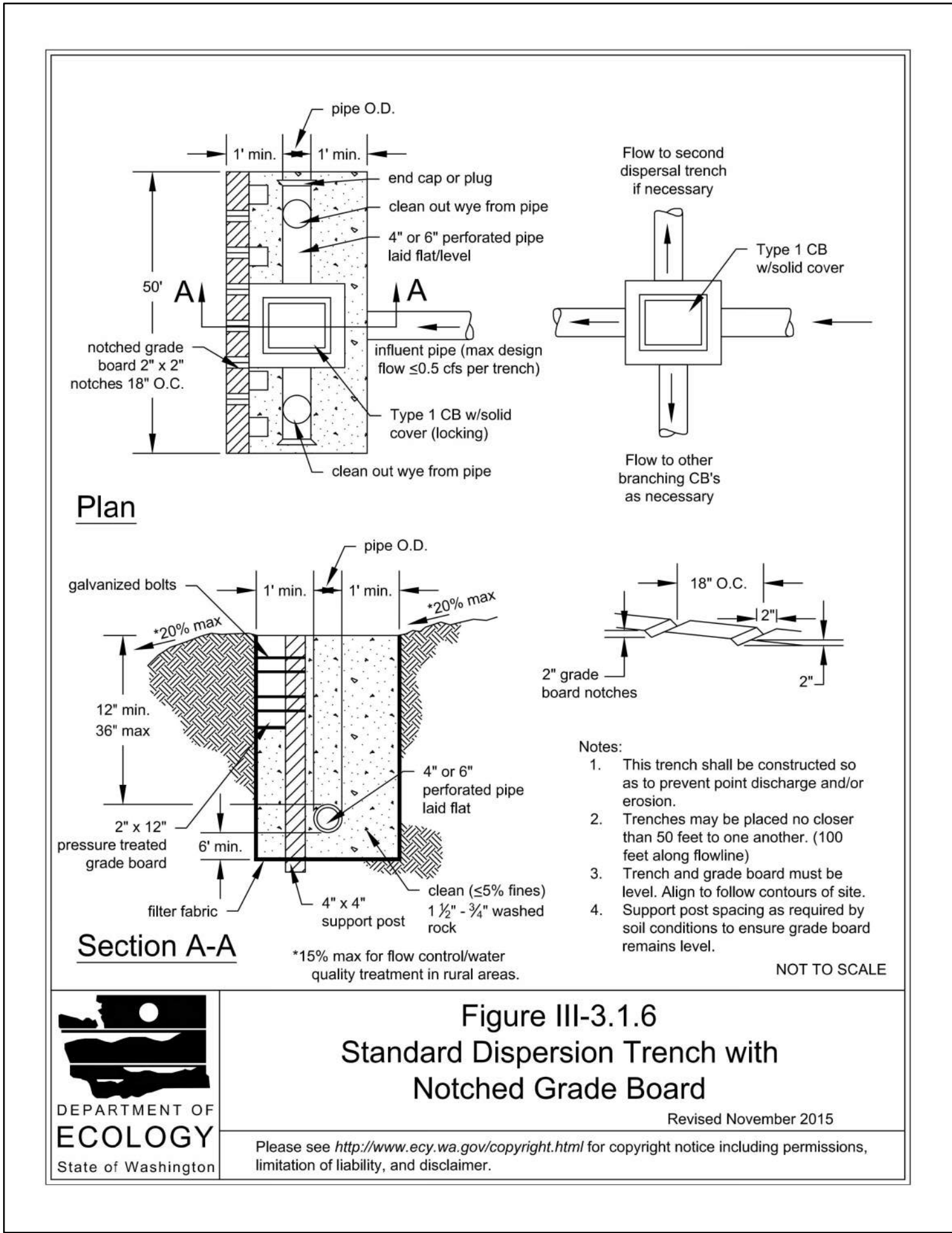
DATE

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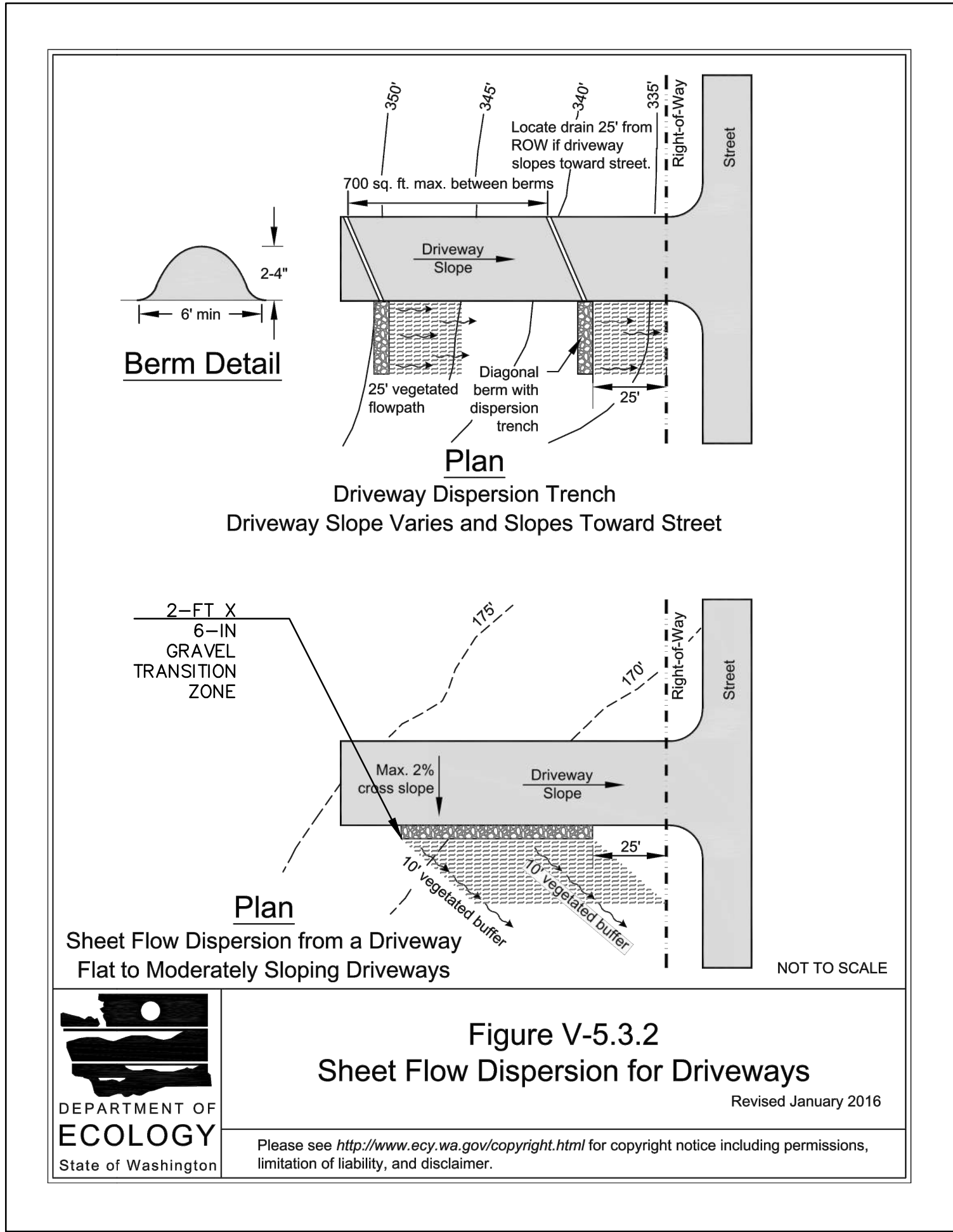
STORMWATER CLEANOUT
NTS

1
C4.1,C4.2



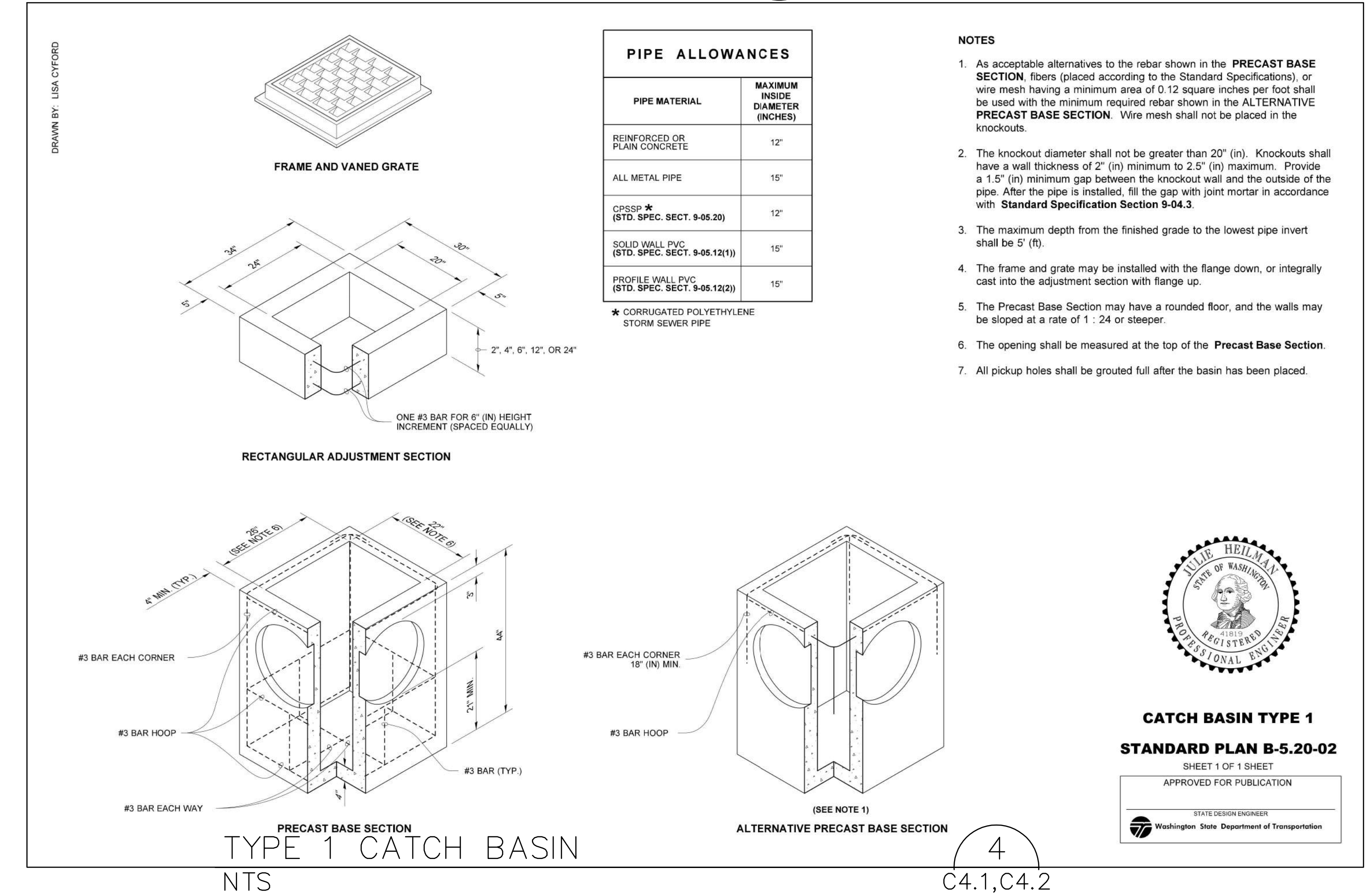
DISPERSION TRENCH
NTS

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C4.2

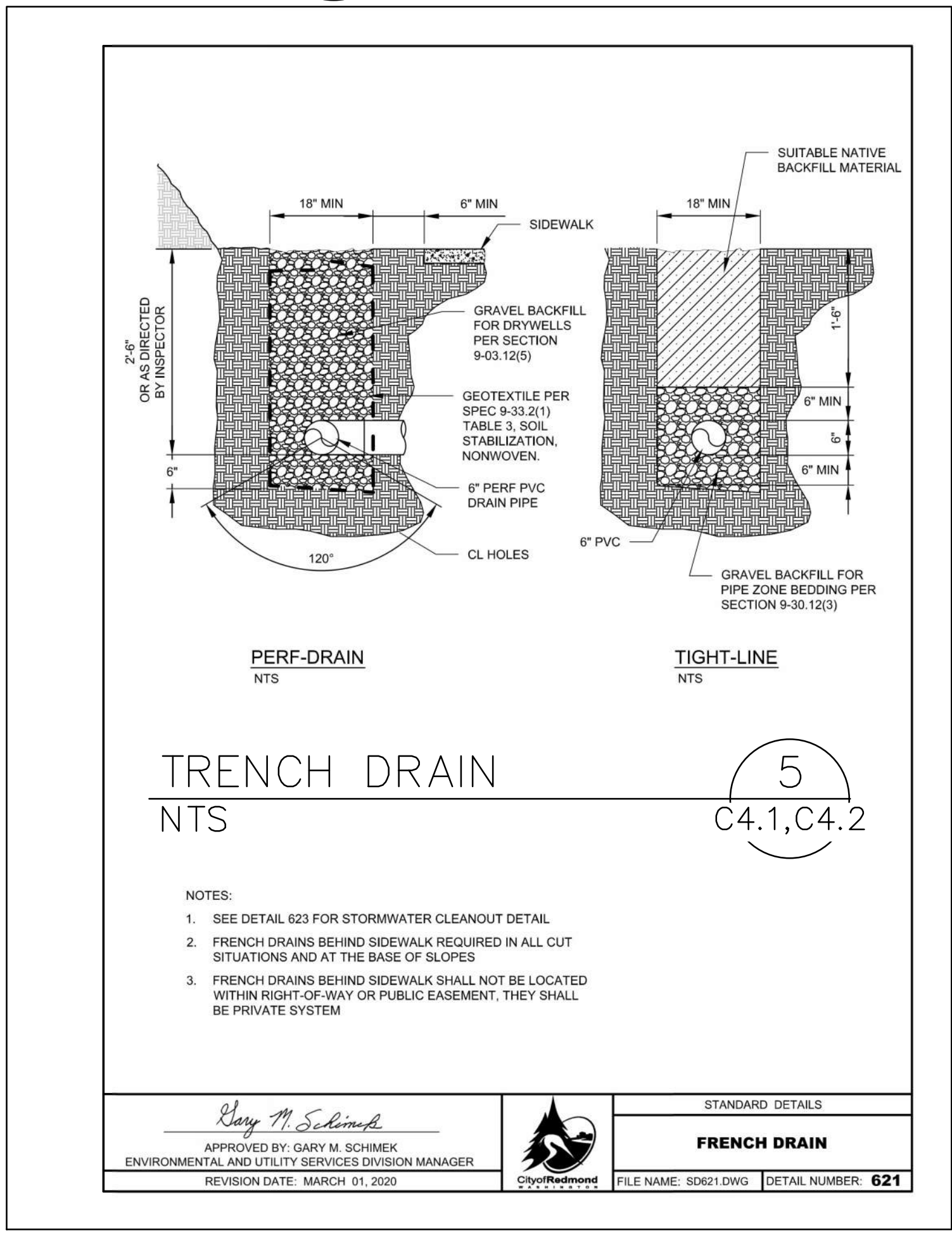


SHEET FLOW DISPERSION SYSTEM
NTS

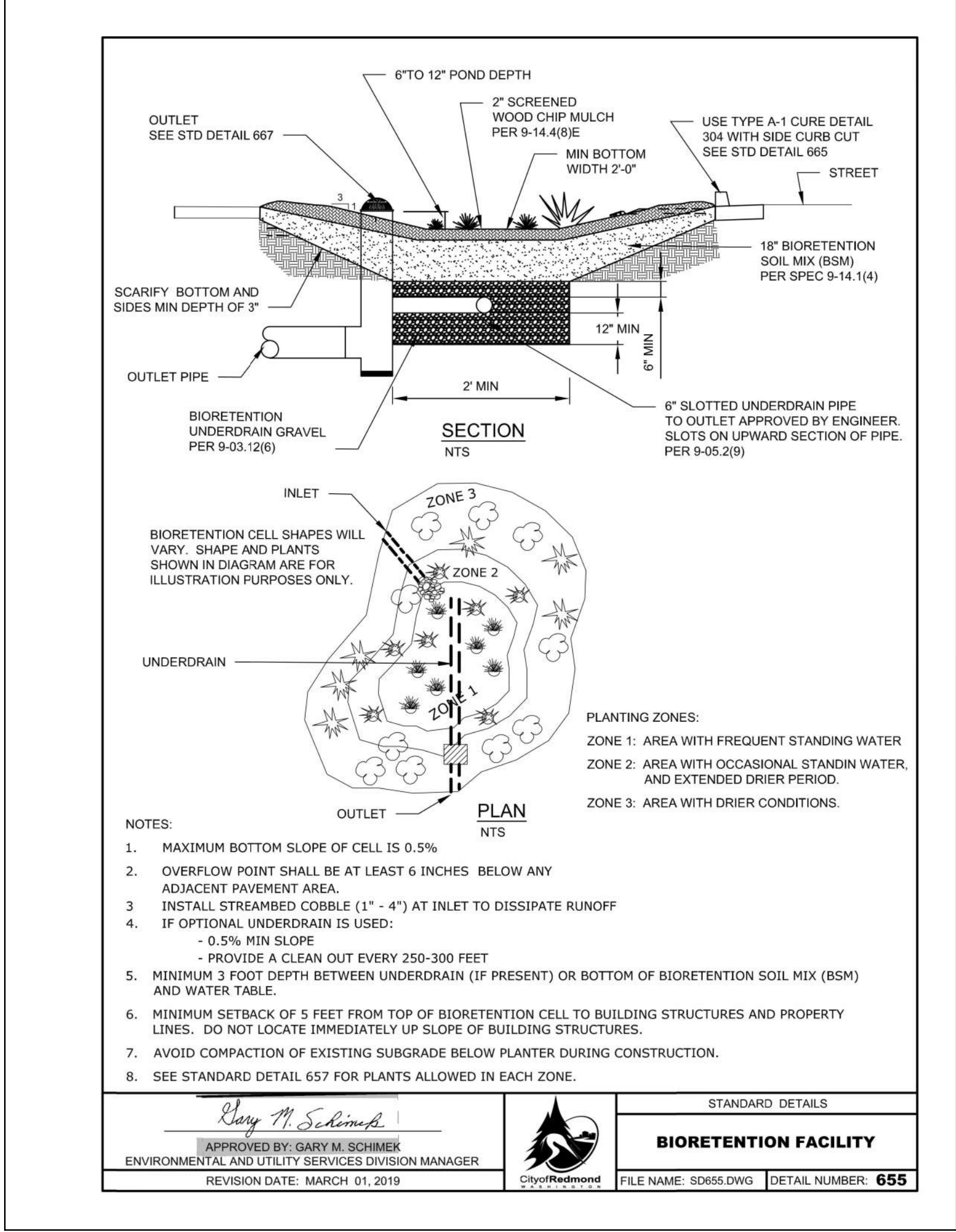
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C4.1,C4.2



4
C4.1,C4.2

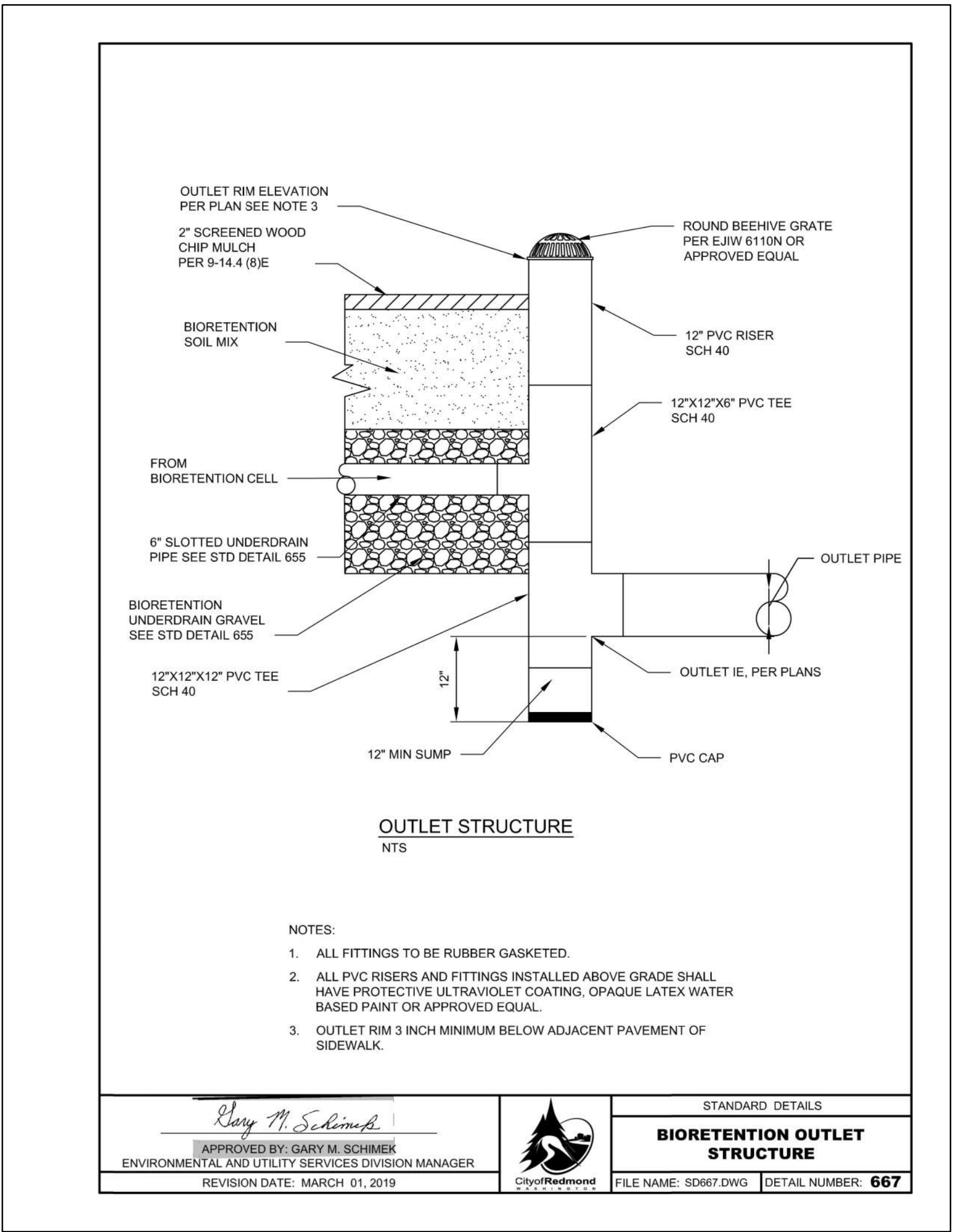


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C4.1,C4.2



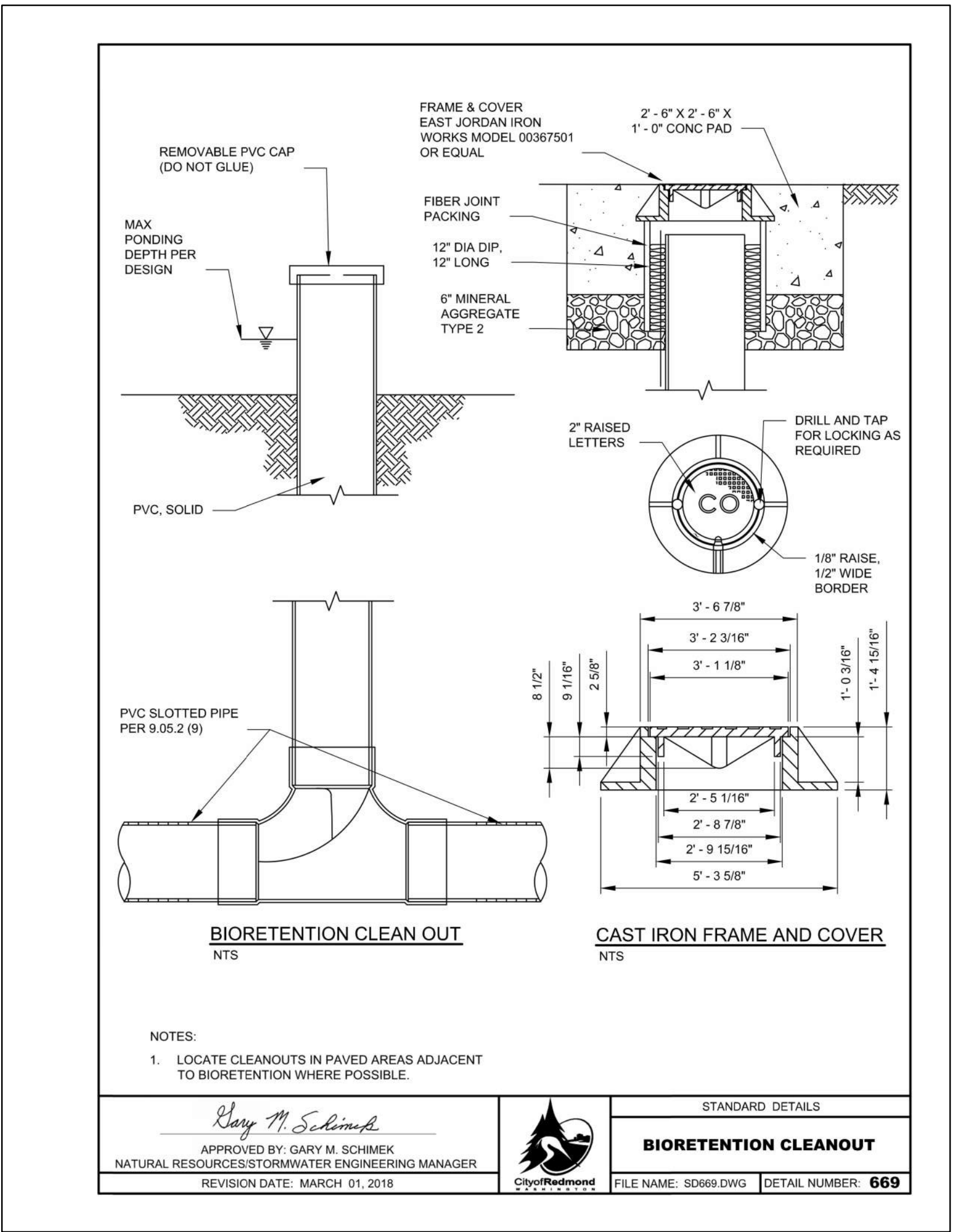
BIORETENTION FACILITY W/ UNDERDRAINS
NTS

1
C4.2



BIORETENTION OUTLET STRUCTURE
NTS

2
C4.2



BIORETENTION CLEANOUT
NTS

3
C4.2

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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ISSUANCES

DATE DESCRIPTION

02.26.2020 30% PLANS

04.20.2020 60% PLANS

04.30.2020 SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE: 8.5" X 11"

BOARD & VELLUM PROJECT #: 2019176.00

PROJECT #:

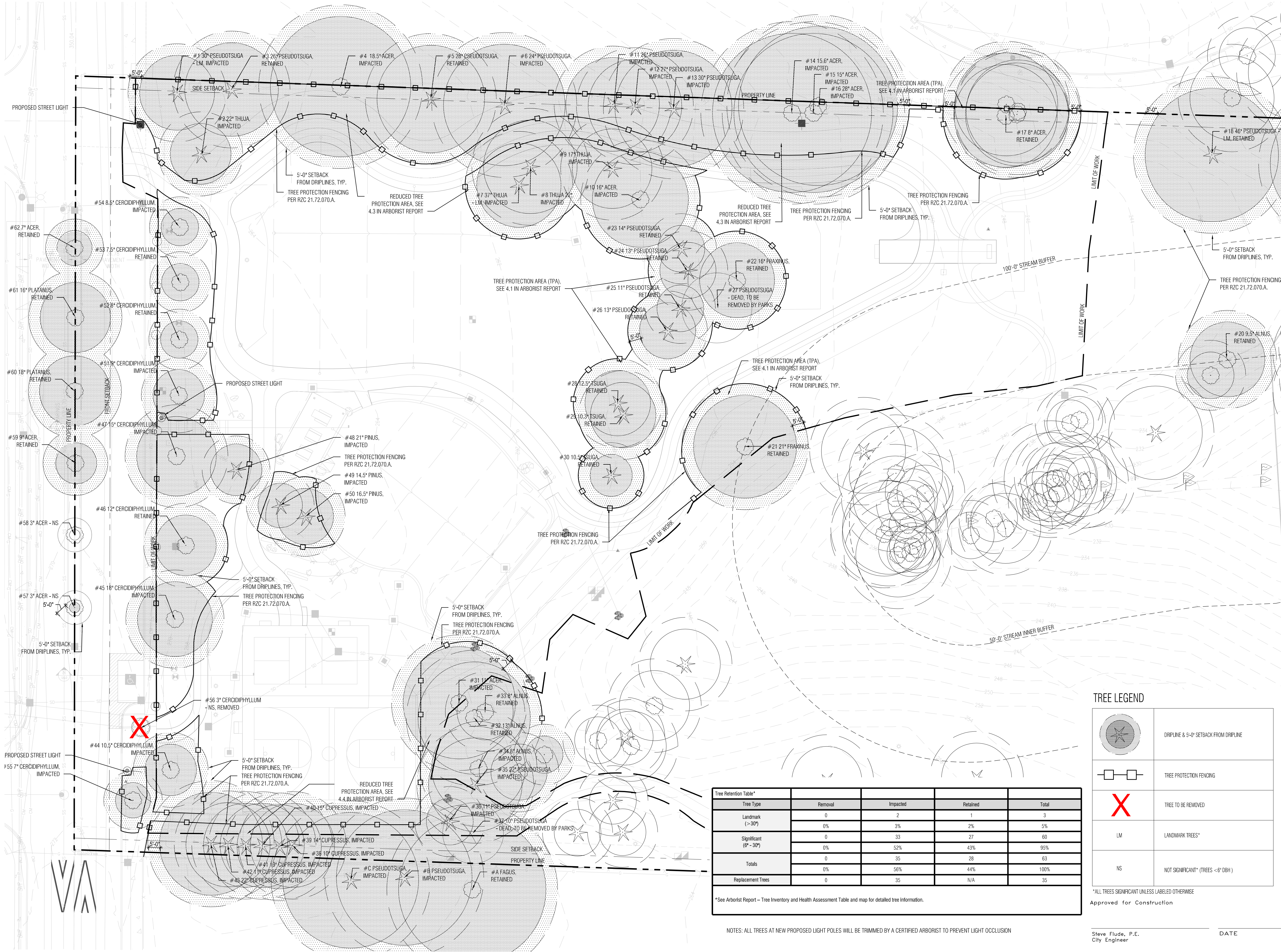
500021924

PLOT DATE:

04.30.2020

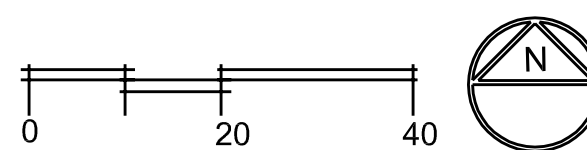
SHEET:

**STORM DRAIN
DETAILS 2
C4.5**



1 TREE PRESERVATION PLAN
SCALE: 1" = 20'-0"

NOTES: ALL TREES AT NEW PROPOSED LIGHT POLES WILL BE TRIMMED BY A CERTIFIED ARBORIST TO PREVENT LIGHT OCCLUSION



TREE LEGEND	
	DRIPLINE & 5'-0" SETBACK FROM DRIPLINE
	TREE PROTECTION FENCING
	TREE TO BE REMOVED
LM	LANDMARK TREES*
NS	NOT SIGNIFICANT* (TREES <6" DBH)

* ALL TREES SIGNIFICANT UNLESS LABELED OTHERWISE
Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

Board & Vellum

115 15th Ave E, Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

STATE OF WASHINGTON
ZACK THOMAS
NO 1167 EXP. 03/08/2022
LANDSCAPE ARCHITECT

CITY OF REDMOND

REDMOND WESTSIDE PARK
RENOVATION
5810 165TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
02.26.2020	30% PLANS
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04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE: 8.5x11

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

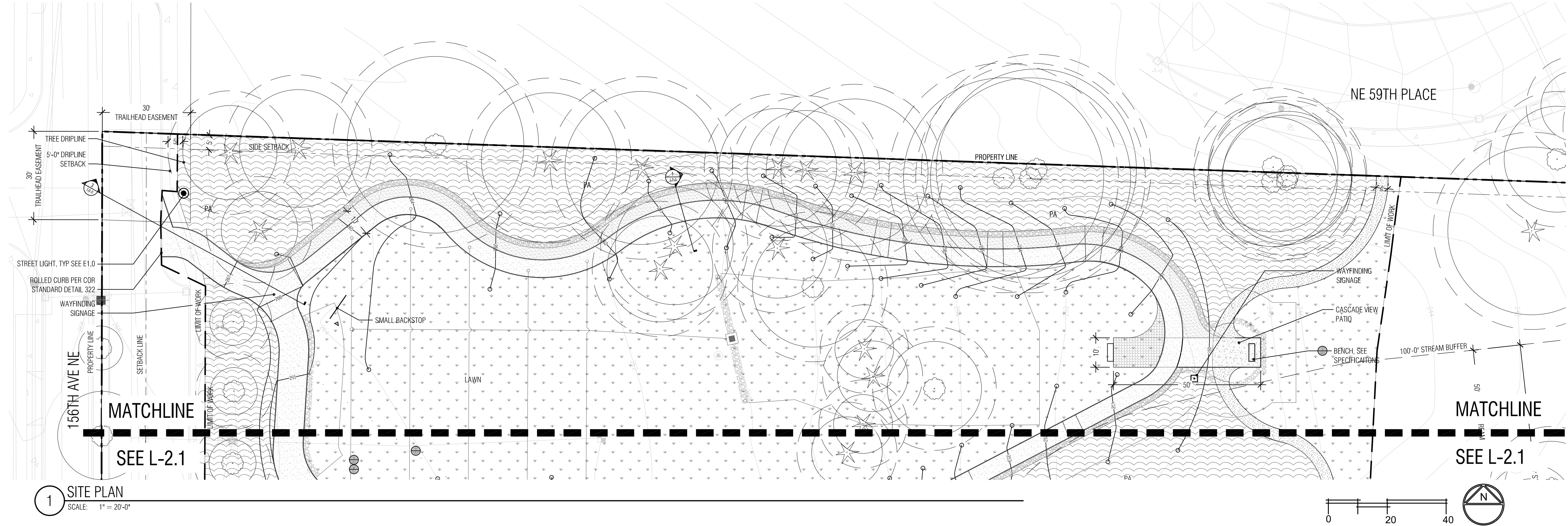
PLOT DATE: 04.30.2020

SHEET:

TREE PRESERVATION PLAN

L1.0

SHEET NO.: 20 OF 35



MATERIALS LEGEND

	MULTIMODAL ASPHALT PATH	
	MULTIMODAL GRAVEL/PAVE PATH	
	SOFT SURFACE TRAIL	
	CONCRETE PAVING	
	CONCRETE JOINTS/SCORING	
	GRASS/PAVE	
	CIP CONC CURB AT PLAY AREA	
	PLAY SURFACE	

	PLANTING AREA	
	LAWN AREAS	
	BIORETENTION FACILITY	
	SPORT COURT SURFACING	
	4' HEIGHT FENCE AT PLAY AREA PERIMETER	
	10' HEIGHT FENCE AT BASKETBALL COURT	
	STREET LIGHT POLE	
	BENCH	

	SIGN	
	TREE WITH DRIPLINE	
	NATURAL LOG FEATURE	
	NATURAL BOULDER	
	BIKE RACK	

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



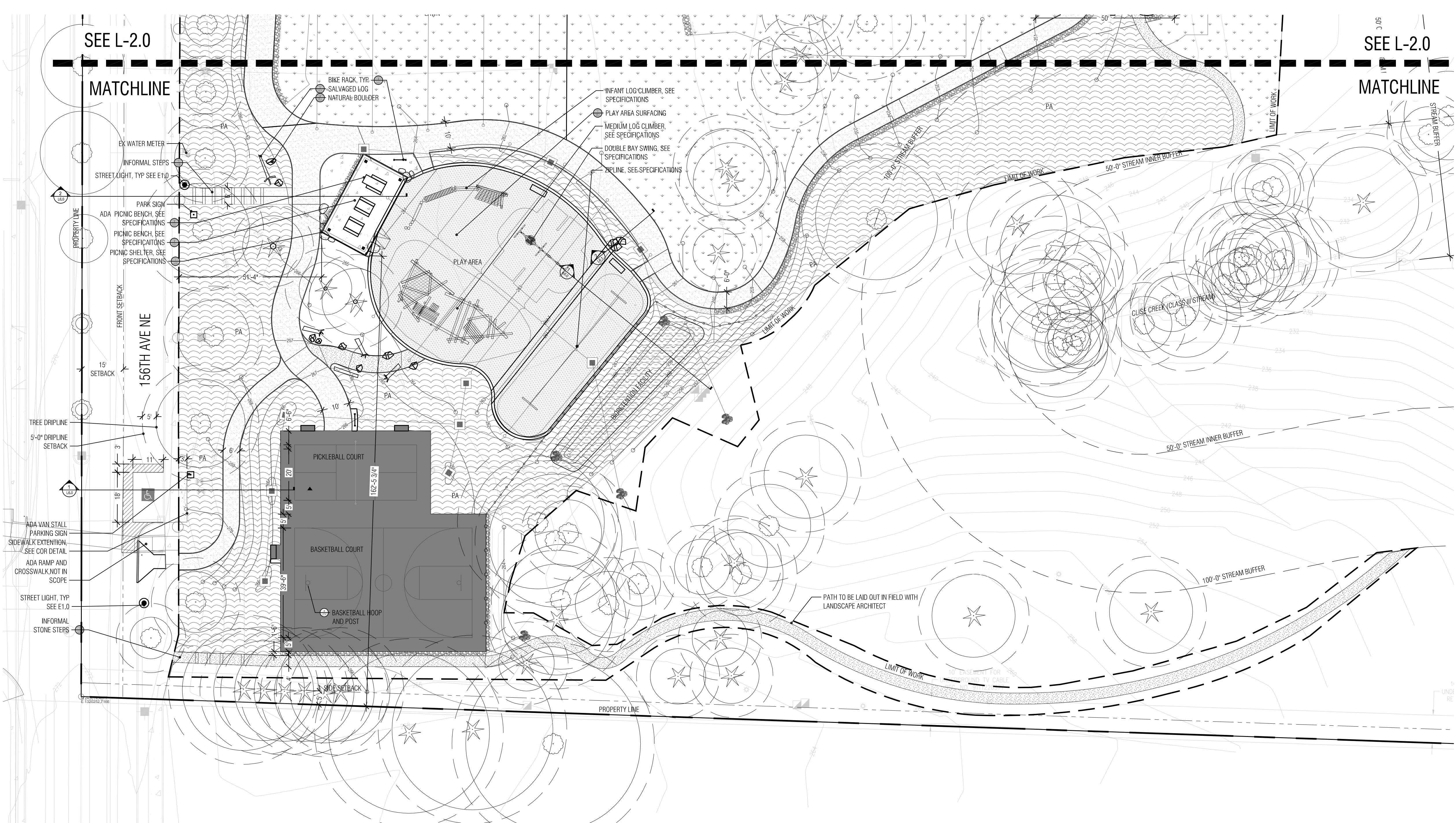
REVISIONS	DATE	DESCRIPTION
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ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE 8.5x11x0.0625

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

PLOT DATE: 04.30.2020



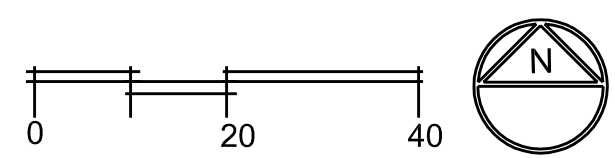
1 SITE PLAN
SCALE: 1" = 20'-0"

MATERIALS LEGEND

	MULTIMODAL ASPHALT PATH	
	MULTIMODAL GRAVEL/PAVE PATH	
	SOFT SURFACE TRAIL	
	CONCRETE PAVING	
	CONCRETE JOINTS/SCORING	
	GRASS/PAVE	
	CIP CONC CURB AT PLAY AREA	
	PLAY SURFACE	

	PLANTING AREA	
	LAWN AREAS	
	BIORETENTION FACILITY	
	SPORT COURT SURFACING	
	4' HEIGHT FENCE AT PLAY AREA PERIMETER	
	10' HEIGHT FENCE AT BASKETBALL COURT	
	STREET LIGHT POLE	
	BENCH	

	SIGN	
	TREE WITH DRIPLINE	
	NATURAL LOG FEATURE	
	NATURAL BOULDER	
	BIKE RACK	



Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE 8.5x11xP

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924
PLOT DATE: 04.30.2020

SHEET:

SITE PLAN SOUTH
L2.1



1 GRADING PLAN
SCALE: 1" = 20'-0"

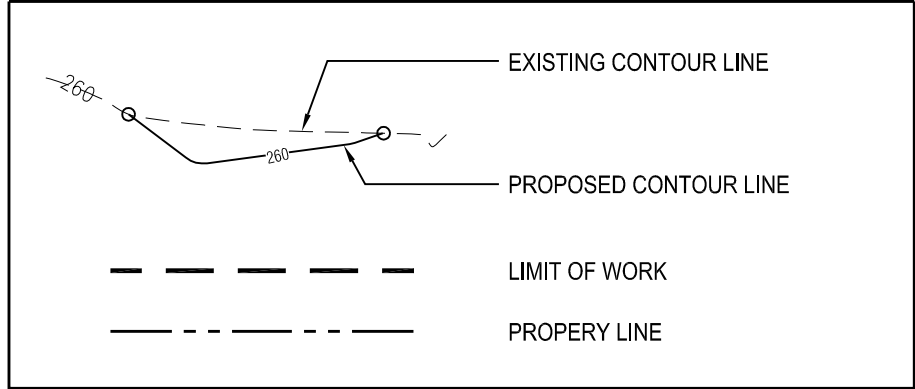
Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.

GRADING PLAN LEGEND



GRADING PLAN INFORMATION

PARCEL AREA: 279,655 SF / 6.42 ACRES
LIMIT OF WORK AREA: 90,368 SF / 2.07 ACRES

ESTIMATED CUT & FILL:
• CUT: 245 CUBIC YARDS
• FILL: 100 CUBIC YARDS
• CUT & FILL TOTAL: 145 CUBIC YARDS OF CUT

STEEP SLOPE AREAS WITHIN LIMITE OF WORK: NONE
RETAINING WALLS OR ROCKERIES OVER 8' HEIGHT: NONE
CUT OR FILL AREASE OVER 8' OF CHANGE FROM EXISTING: NONE

NOTES:
• REFERENCE CIVIL SHEETS FOR DRAINAGE INFORMATION AND DETAILS
• REFERENCE LANDSCAPE PLANS FOR MATERIALS LEGEND
• REFERENCE TREE PROTECTION PLAN FOR TREES TO BE RETAINED, TREES TO BE REMOVED, AND TREES IMPAIRED BY PROJECT



REDMOND WESTSIDE PARK RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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02.26.2020	30% PLANS
------------	-----------

04.20.2020	60% PLANS
------------	-----------

04.30.2020	SITE PLAN ENTITLEMENT
------------	-----------------------

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ORIGINAL SHEET SIZE: 22x36"

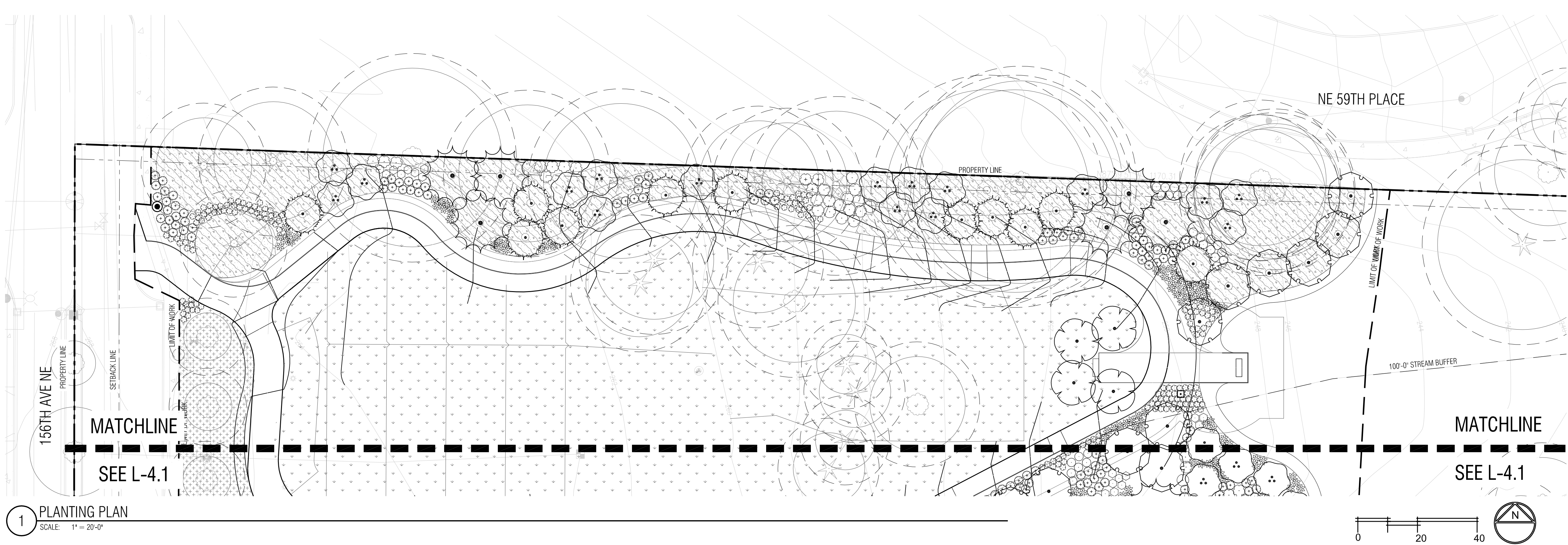
BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

PLOT DATE: 04.30.2020

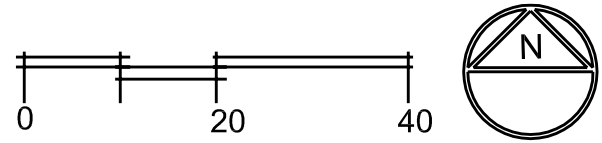
SHEET:

GRADING PLAN L3.0

SHEET NO: 23 OF 35



1 PLANTING PLAN
SCALE: 1" = 20'-0"



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NAT/ADAPT	DROUGHT TOL	TYPE	REMARKS
	26	Acer circinatum / Vine Maple	B&B, MULTISTEM		4'-5' HT	YES	YES	DECIDUOUS	
	17	Cercis occidentalis / Western Redbud Multi-trunk	B&B	2.5"Cal		YES	YES	DECIDUOUS	(2) REPLACEMENT TREES
	7	Cornus kousa / Kousa Dogwood	B&B	2.5"Cal		YES	YES	DECIDUOUS	REPLACEMENT TREE
	16	Pinus contorta / Shore Pine	B & B		6'-8' HT	YES	YES	EVERGREEN	REPLACEMENT TREE
	14	Thuja plicata / Western Red Cedar	B&B		6'-8' HT	YES	YES	EVERGREEN	REPLACEMENT TREE
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	NAT/ADAPT	DROUGHT TOL				REMARKS
	284	Gaultheria shallon / Salal	1 gal	YES	YES				
	18	Holodiscus discolor / Ocean-spray	1 gal	YES	YES				
	237	Mahonia aquifolium / Oregon Grape	1 gal	YES	YES				
	21	Oemleria cerasiformis / Indian Plum	1 gal	YES	YES				
	209	Polystichum munitum / Western Sword Fern	1 gal	YES	YES				
	59	Ribes sanguineum / Red Flowering Currant	5 gal	YES	YES				
	68	Symphoricarpos albus / Common White Snowberry	1 gal	YES	YES				
	117	Vaccinium ovatum / Evergreen Huckleberry	1 gal	YES	YES				
BIORETENTION	QTY	BOTANICAL / COMMON NAME	SIZE	NAT/ADAPT	DROUGHT TOL				REMARKS
	25	Aquilegia formosa / Western Columbine	1 gal	YES	YES				
	102	Carex stipata / Sawbeak Sedge	1 gal	YES	YES				
	17	Cornus sericea / Red Twig Dogwood	1 gal	YES	YES				
	59	Deschampsia cespitosa / Tufted Hair Grass	1 gal	YES	YES				
	55	Eleocharis palustris / Great Spike Rush	1 gal	YES	YES				

PLANT SCEDULE CONT.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	NAT/ADAPT	DROUGHT TOL
	2,265 sf	BUTTERFLY GARDEN	seed	YES	YES
	8,733 sf	MULCH COVER	--		
	3,686 sf	TURF - EXISTING / EXISTING TURF	--		
	27,549 sf	Turf Hydroseed 100% Perennial Rye Seed / Blue Tag	seed		YES

ECOLOGICAL SCORE REQUIREMENTS		
TECHNIQUE	How Technique achieved	POINTS AWARDED - OVERLAKE VILLAGE
1. 25% of the plants installed are Northwest adaptive and 25% of the plants installed are native.*	Total plants installed: 1,343 Total plants NW adaptive: 7 (0.5%) Total plants native: 1,336 (99%)	5 POINTS
2. 40% of existing significant trees, including landmark trees, are retained.	Retained (no impacts): 44%	3 POINTS
3. Minimum of 25% of proposed trees are evergreens.	Proposed Trees: 80, Proposed Evergreen Trees: 30 (38%)	3 POINTS
6. 10% increase over the minimum number of required replacement trees, street trees, or parking lot trees.*	Minimum number of required replacement trees: 35 Proposed replacement Trees: 39 (10%)	3 POINTS
10. Minimum of 25% of landscaped areas are designed with landscaping that does not require irrigation after a three-year period.	Total Landscaped Area: +/- 30,000 SF Temporary irrigation area: 20,000 SF (67%)	3 POINTS
11. Minimum of 50% of landscaped areas where native soils are preserved on-site.	Landscape Areas native soil preserved: 30,000 SF	4 POINTS
TOTAL		21 POINTS

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

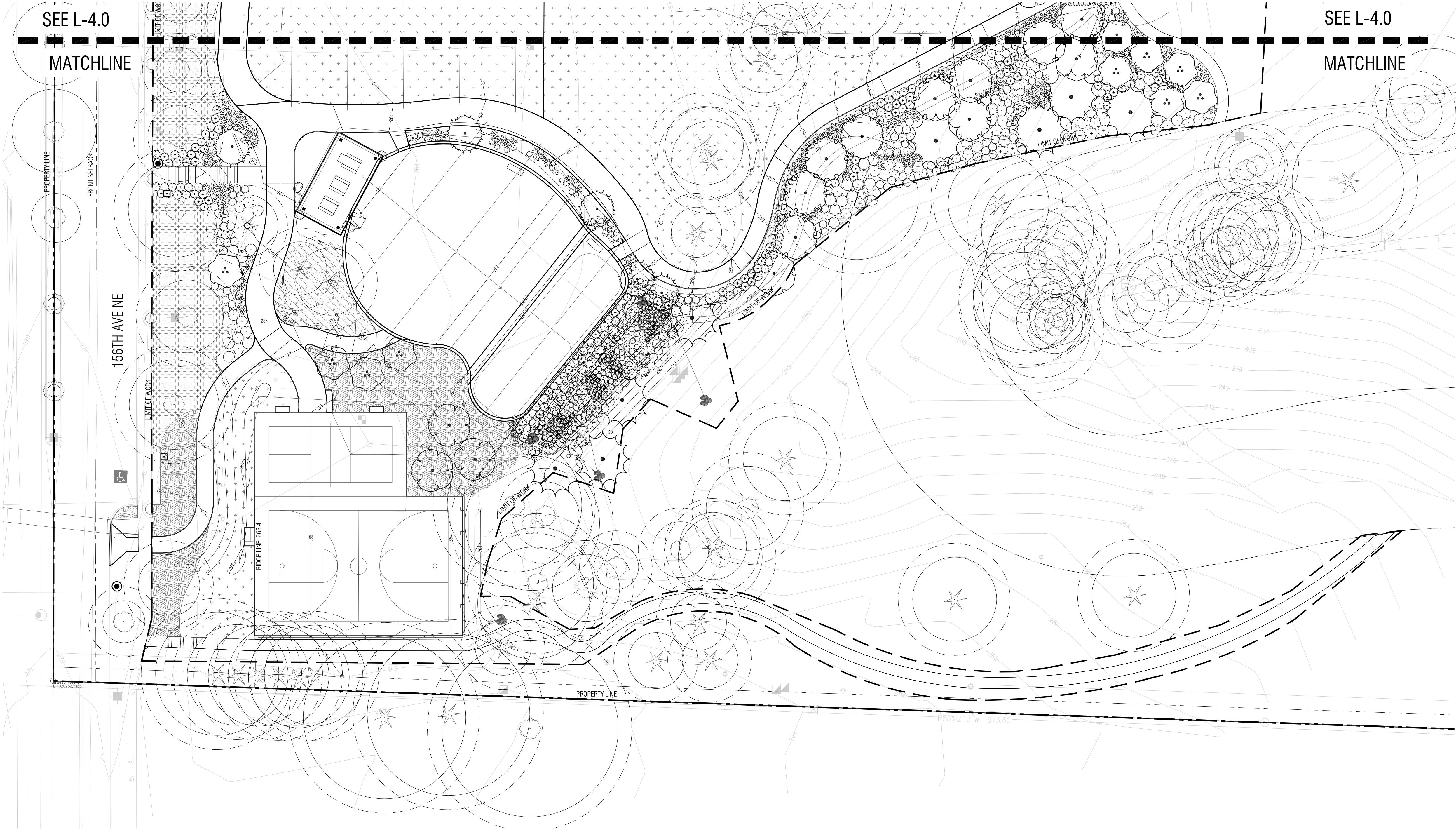
THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REVISIONS	DATE	DESCRIPTION
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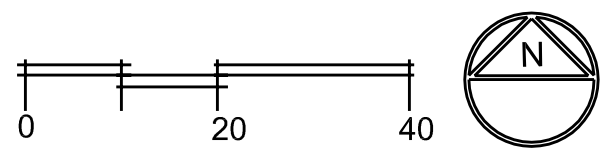
ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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BOARD & VELLUM PROJECT #:	2019176.00
PROJECT #:	500021924
PLOT DATE:	04.30.2020



1 PLANTING PLAN
SCALE: 1" = 20'-0"

SEE L4.0 FOR PLANT SCHEDULE



ECOLOGICAL SCORE REQUIREMENTS	
TECHNIQUE	POINTS AWARDED - OVERLAKE VILLAGE
1. 25% of the plants installed are Northwest adaptive and 25% of the plants installed are native.*	5 POINTS
2. 40% of existing significant trees, including landmark trees, are retained.	3 POINTS
3. Minimum of 25% of proposed trees are evergreens.	3 POINTS
6. 10% increase over the minimum number of required replacement trees, street trees, or parking lot trees.*	3 POINTS
10. Minimum of 25% of landscaped areas are designed with landscaping that does not require irrigation after a three-year period.	3 POINTS
11. Minimum of 50% of landscaped areas where native soils are preserved on-site.	4 POINTS
TOTAL	21 POINTS

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

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04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET SIZE 8.5x11

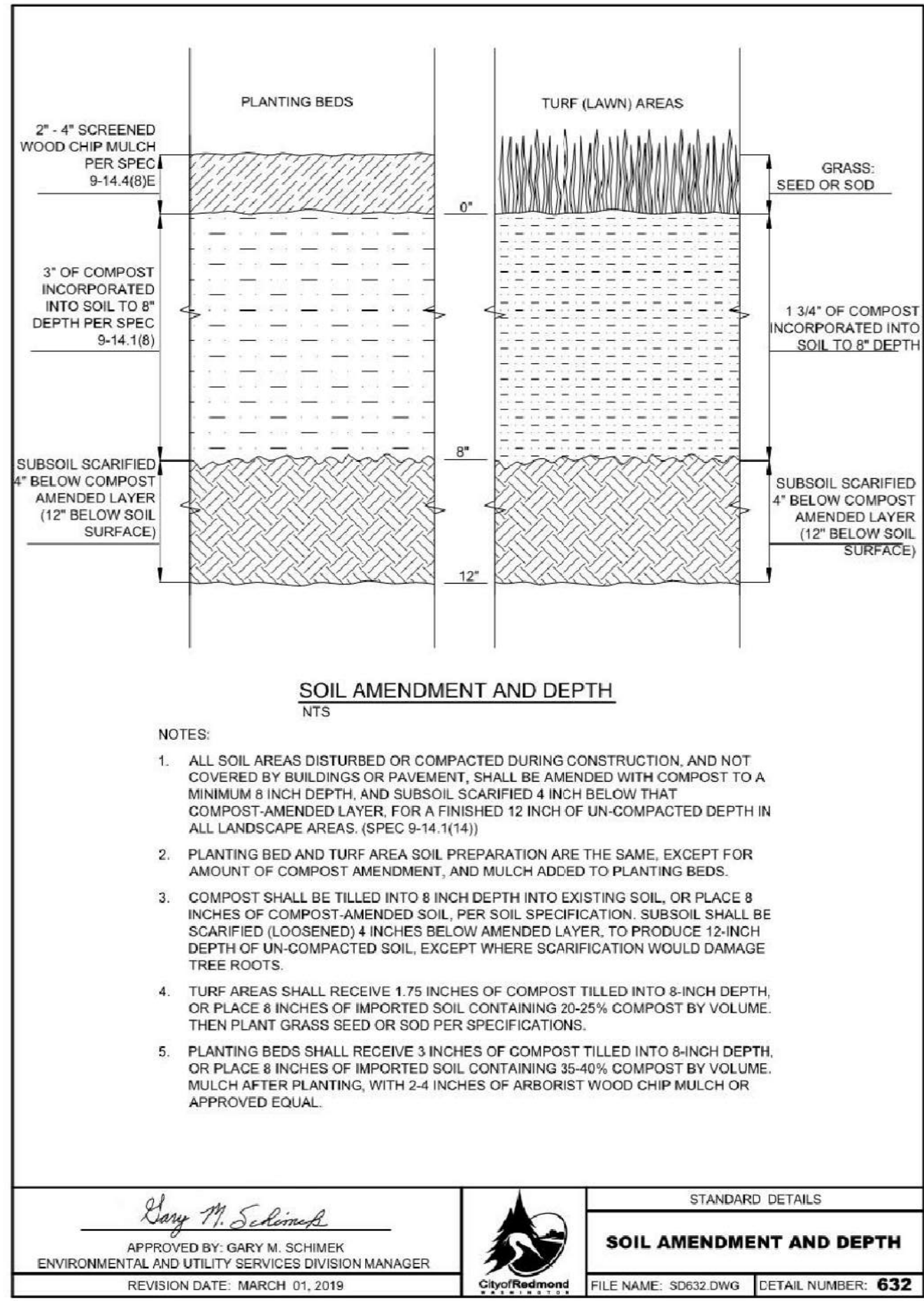
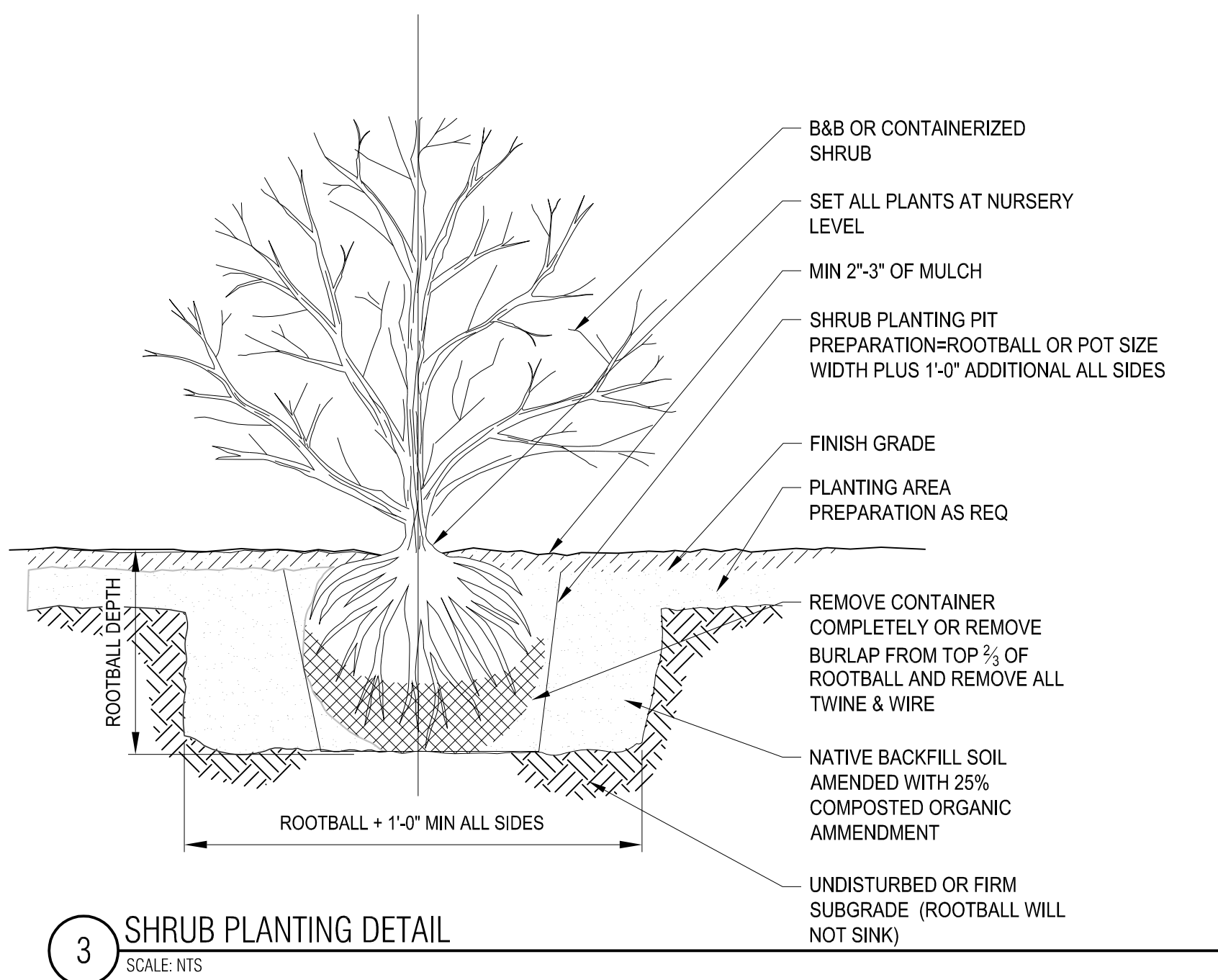
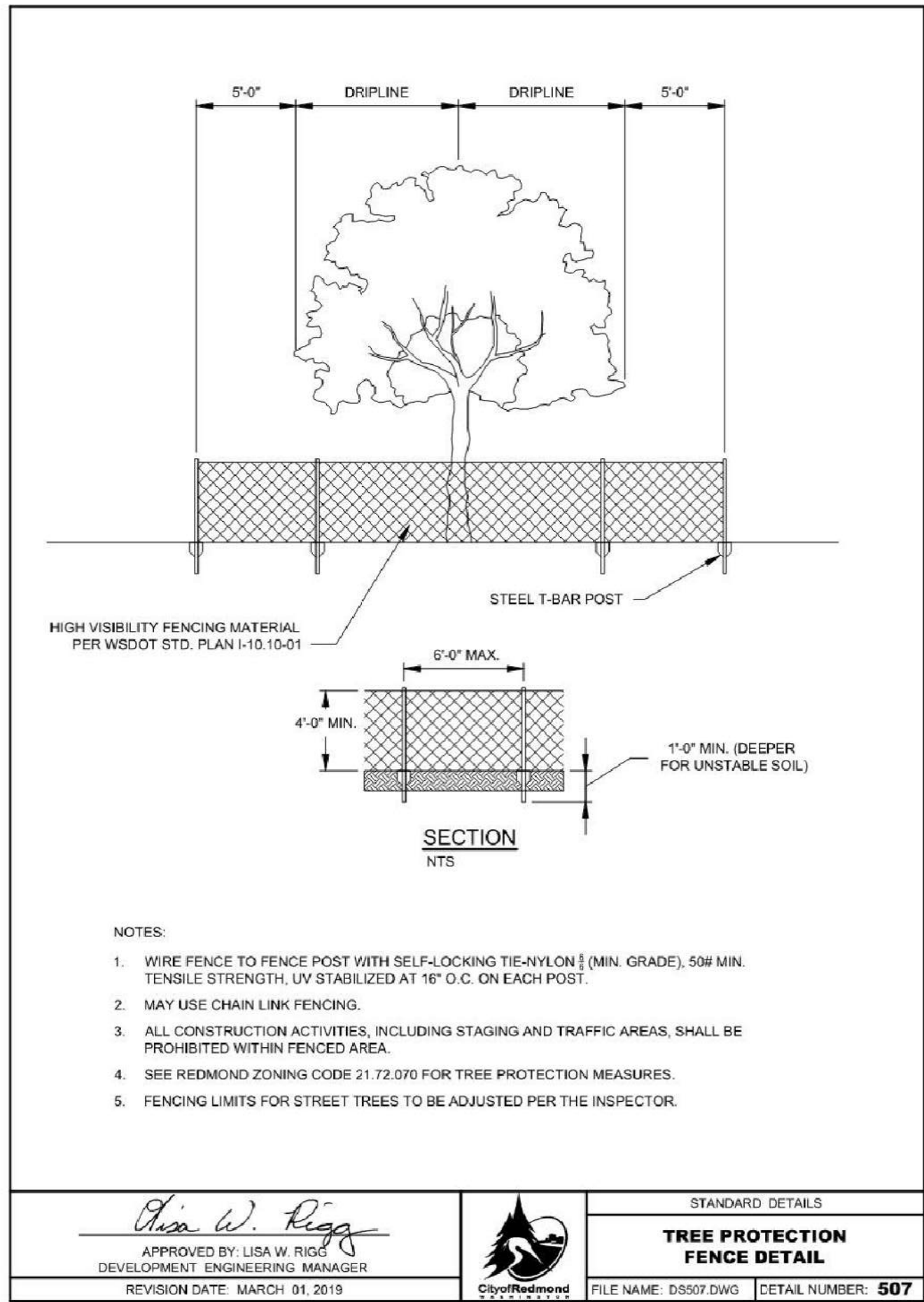
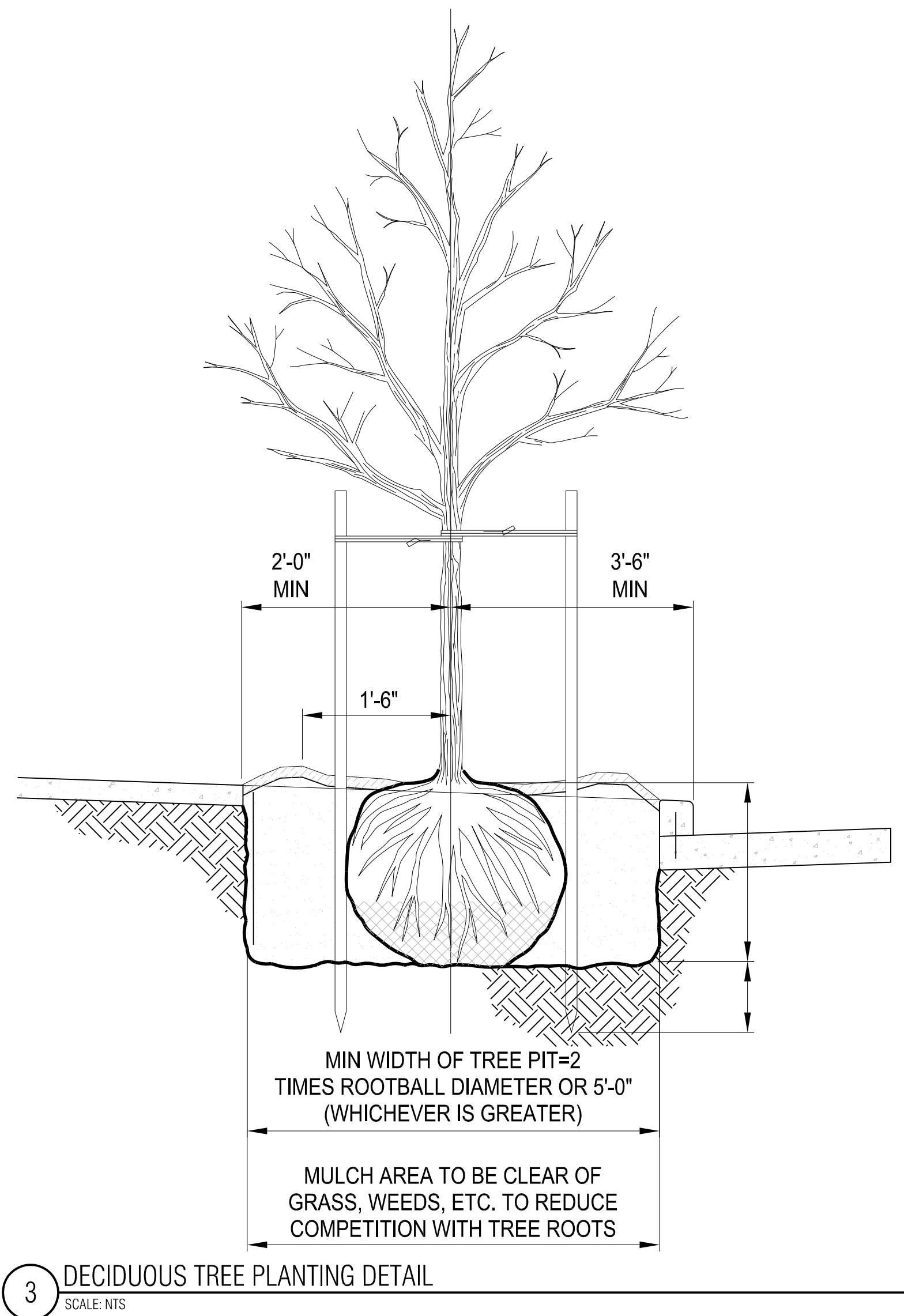
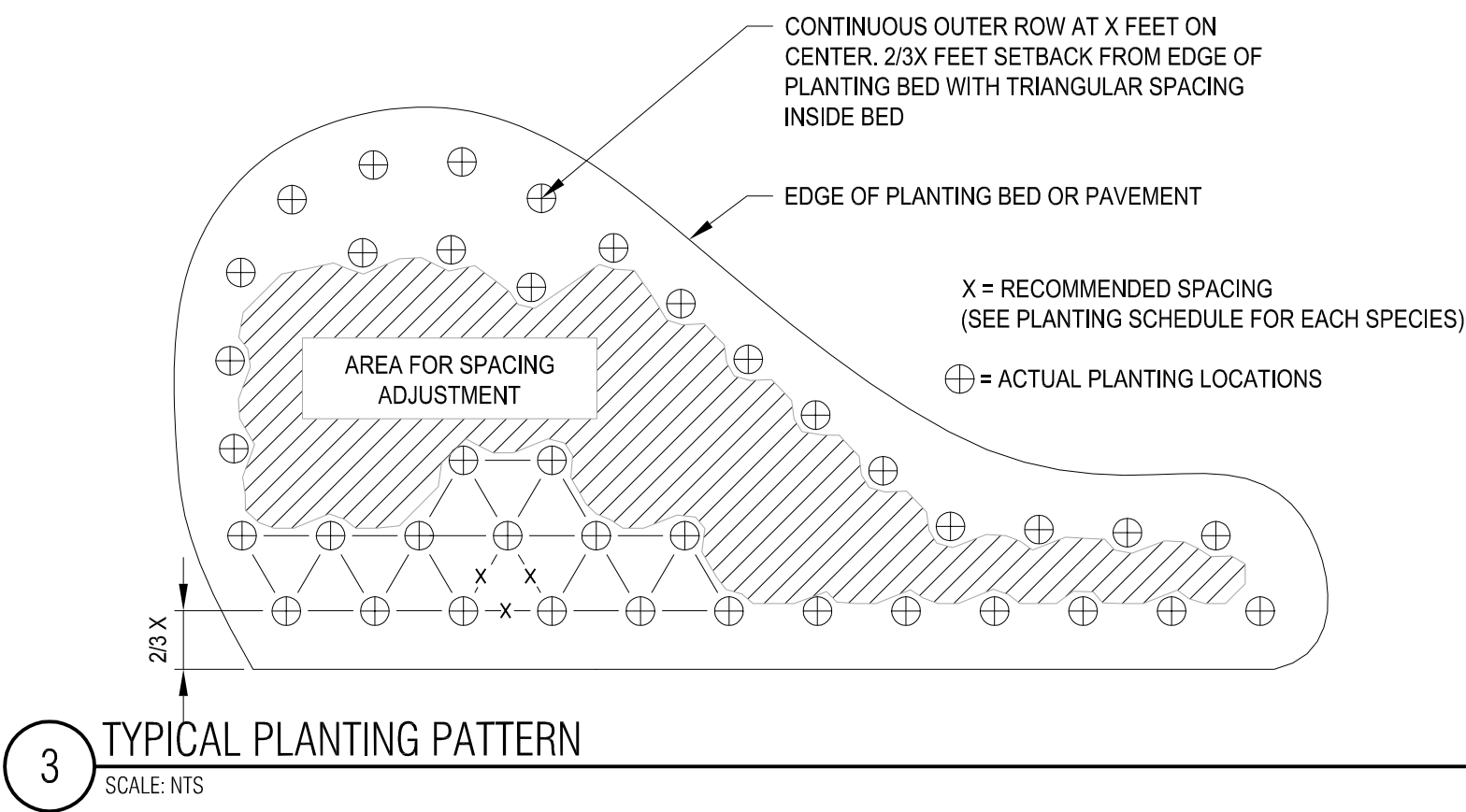
BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

PLOT DATE: 04.30.2020

SHEET:

PLANTING PLAN SOUTH

L4.1

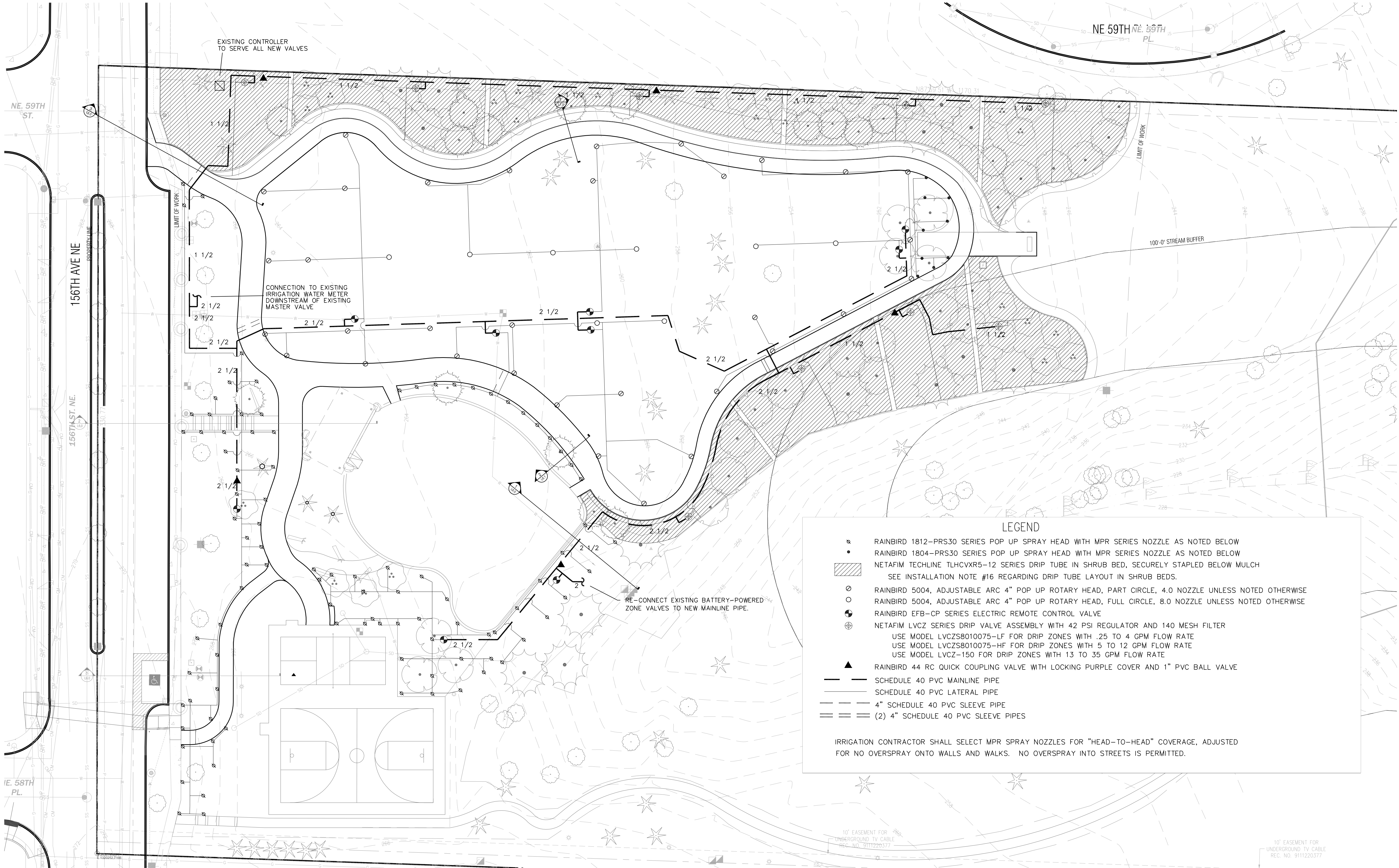


Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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1

IRRIGATION PLAN

SCALE: 1" = 20'-0"

COORDINATION WITH EXISTING IRRIGATION

THE CONTRACTOR SHALL VISIT THE SITE BEFORE CONSTRUCTION BEGINS TO BECOME FAMILIAR WITH THE EXISTING SYSTEM LAYOUT. REROUTE, REPAIR, OR REINSTALL EXISTING EQUIPMENT, INCLUDING MAINLINE AND CONTROL WIRES AS REQUIRED TO MAINTAIN CONTINUED AUTOMATIC OPERATION OF ALL AREAS OUTSIDE THE LIMITS OF WORK. PROTECT EXISTING EQUIPMENT WITHIN THE LIMITS OF WORK, WHICH IS INTENDED TO REMAIN.

SCHEDULE EXISTING BATTERY-POWERED ZONE VALVES TO AVOID SIMULTANEOUS OPERATION WITH OTHER VALVES.

COORDINATION WITH EXISTING TREES

NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.



IRRIGATION DESIGN, CONSULTING, AND
LANDSCAPE WATER MANAGEMENT

TEXAS L.I.C. #658
100 N. LOCUST ST., SUITE 3
DENTON, TEXAS 76201

PHONE: 940.243.2364
FAX: 940.382.2475
james@jamespoleirrigation.com



IRRIGATION IN TEXAS IS REGULATED BY
THE TEXAS COMMISSION ON ENVIRONMENTAL
QUALITY (TCEQ) (MC-178) P.O. BOX 13087
T.C.E.Q.'S WEB SITE IS: WWW.TCEQ.STATE.TX.US

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH
THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND
DETAILS.

REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET 5002.6-27-0P

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

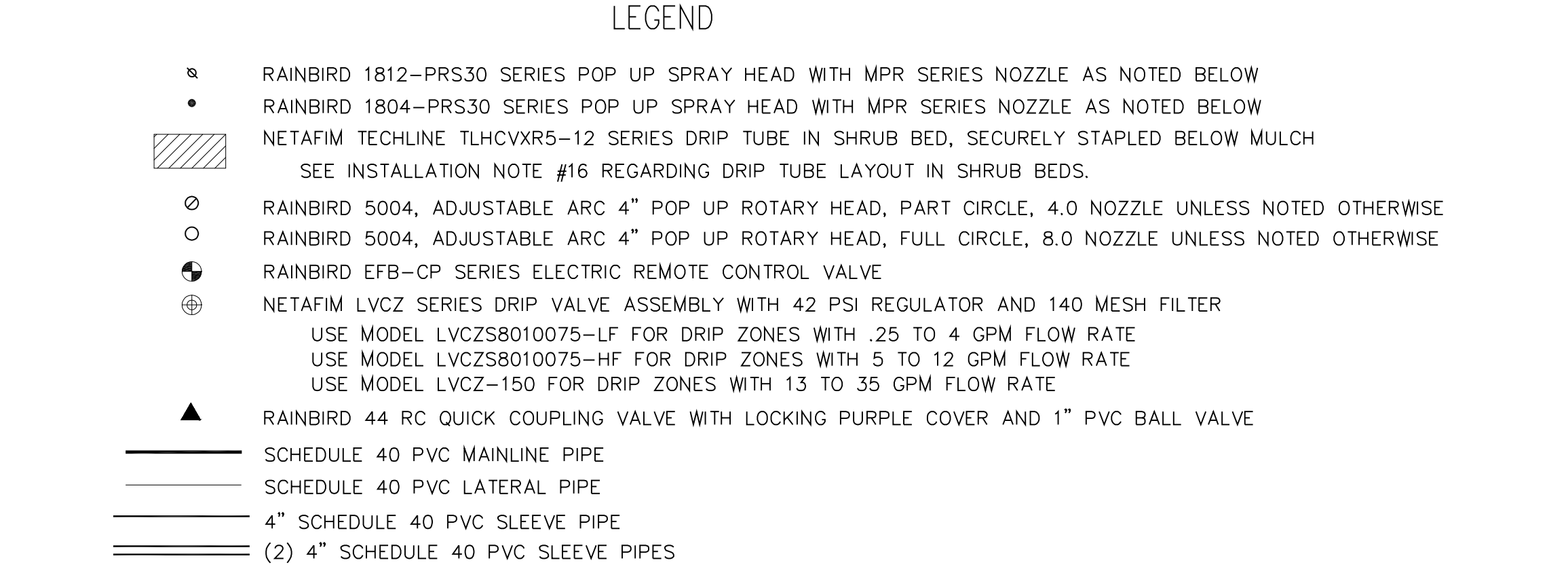
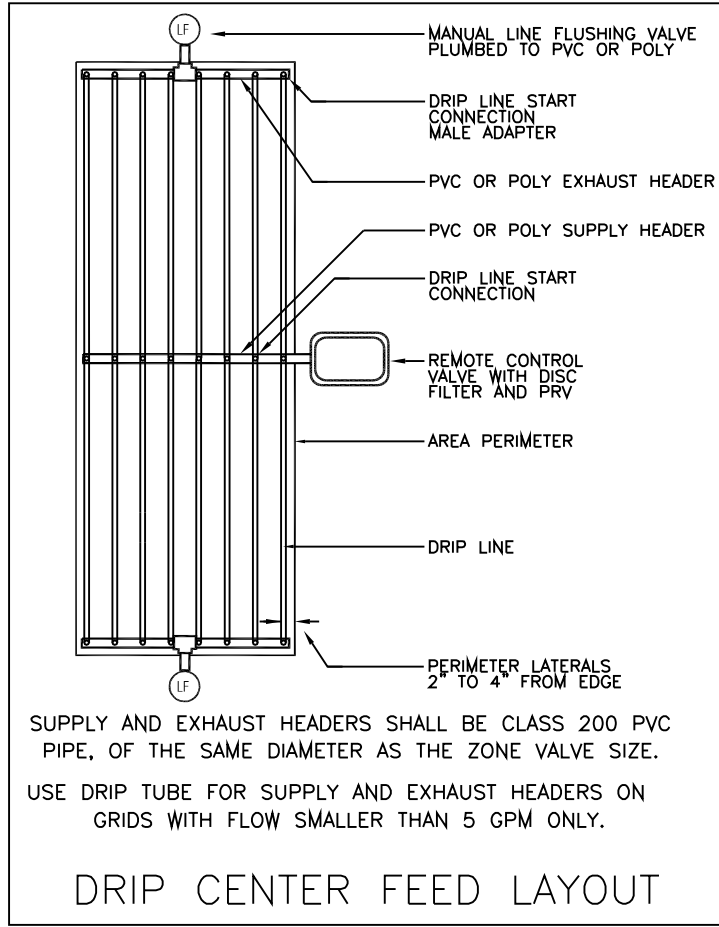
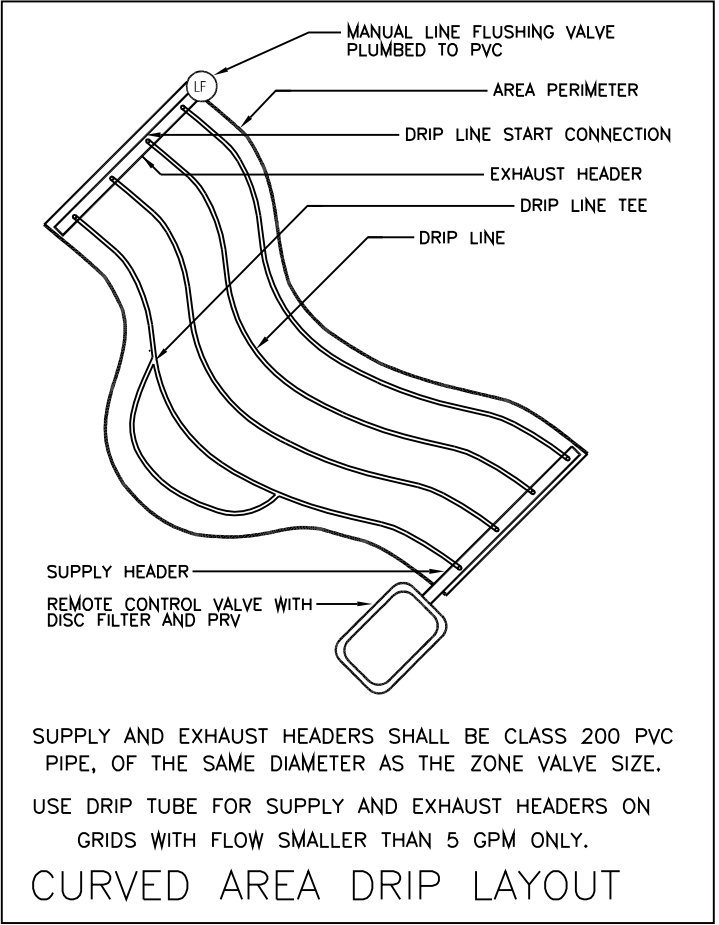
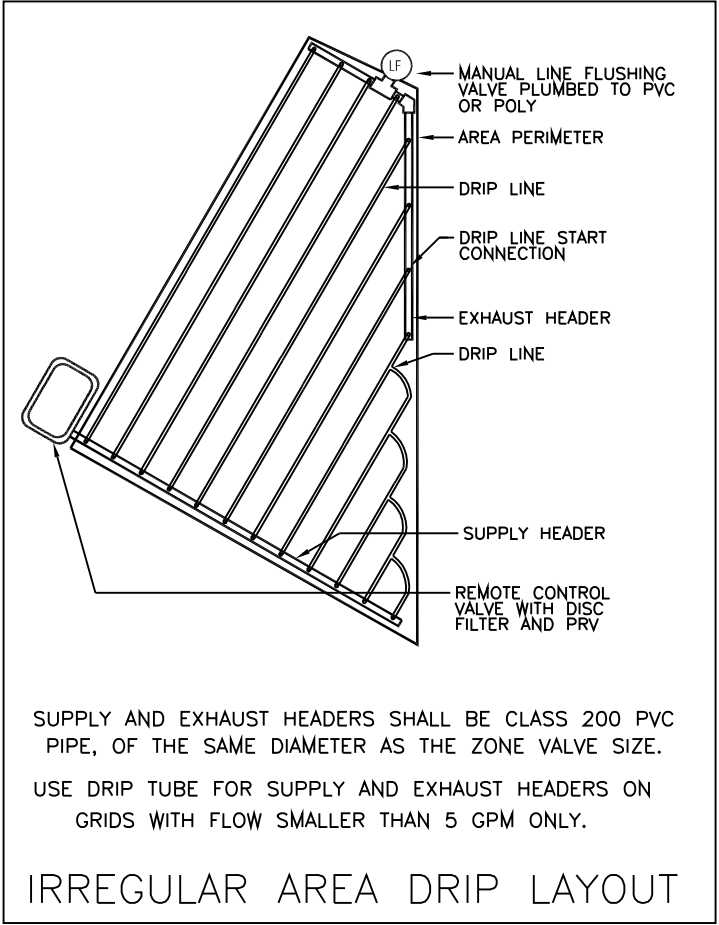
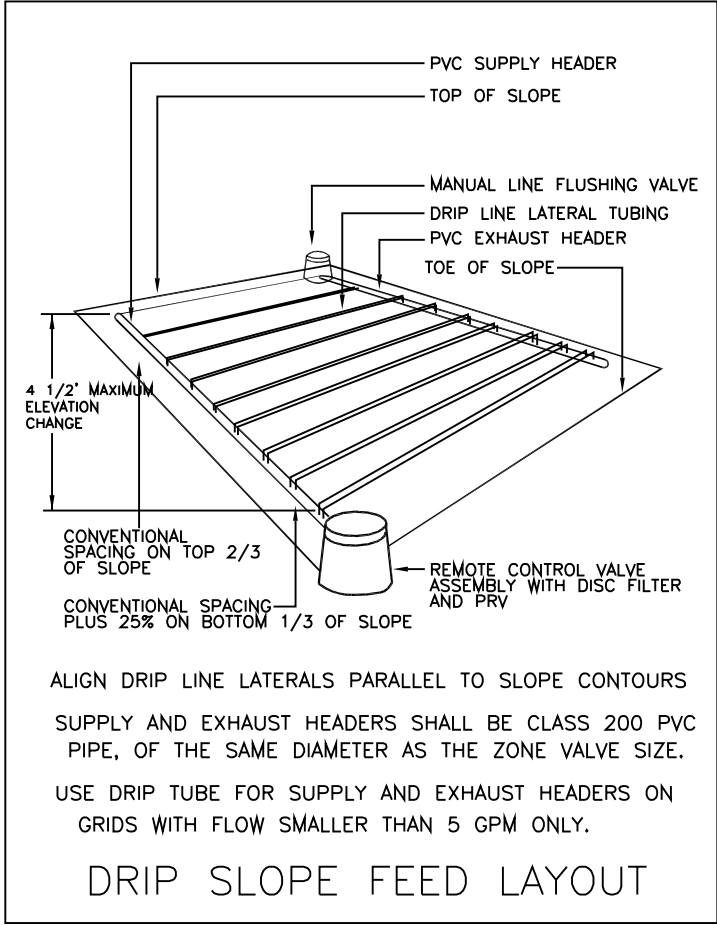
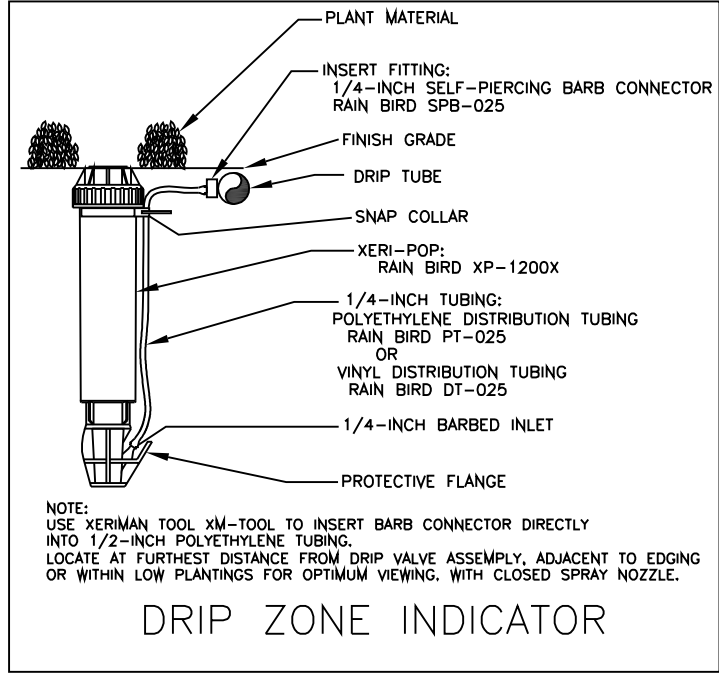
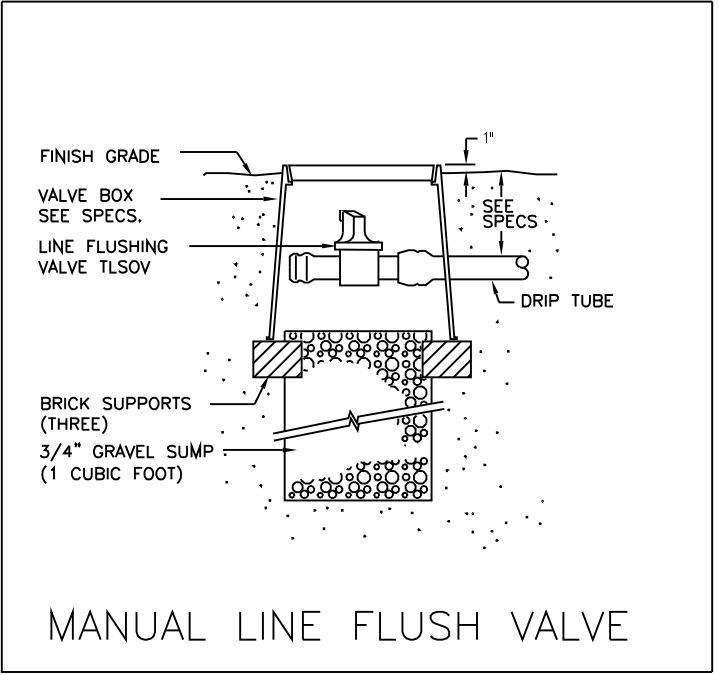
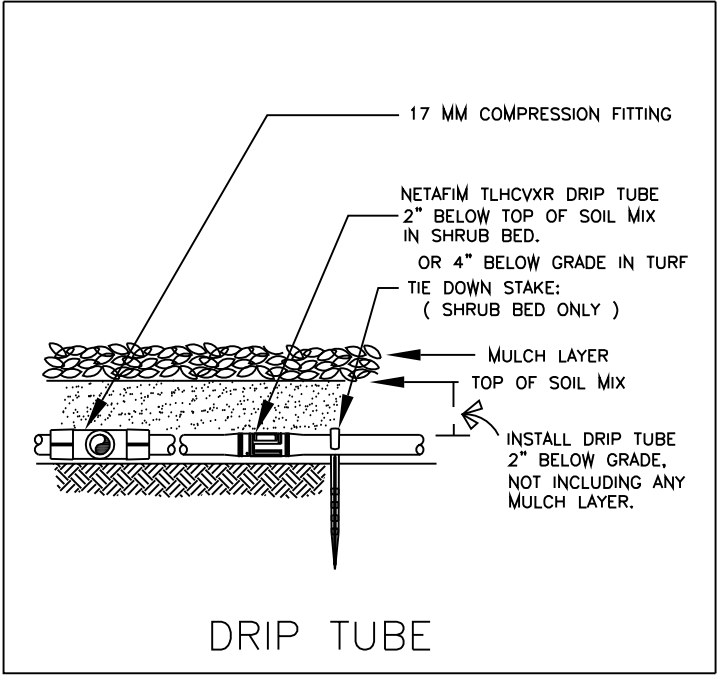
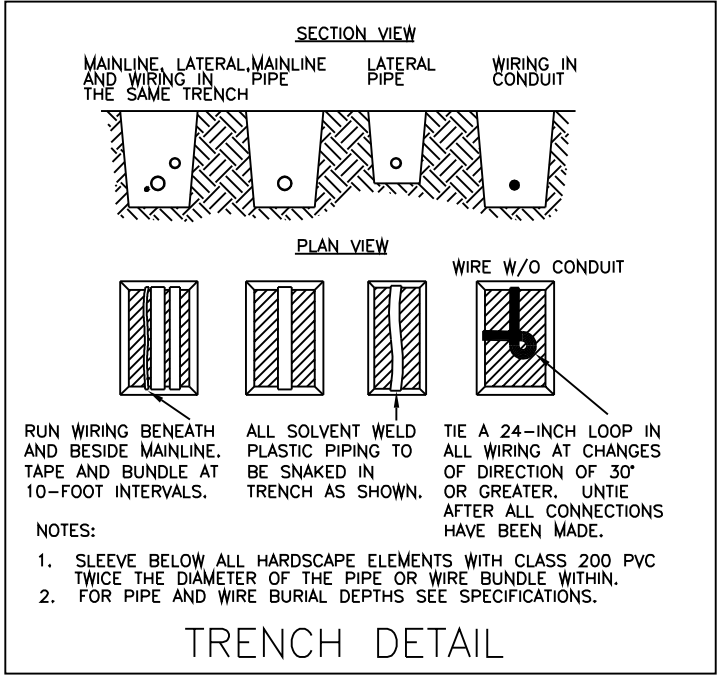
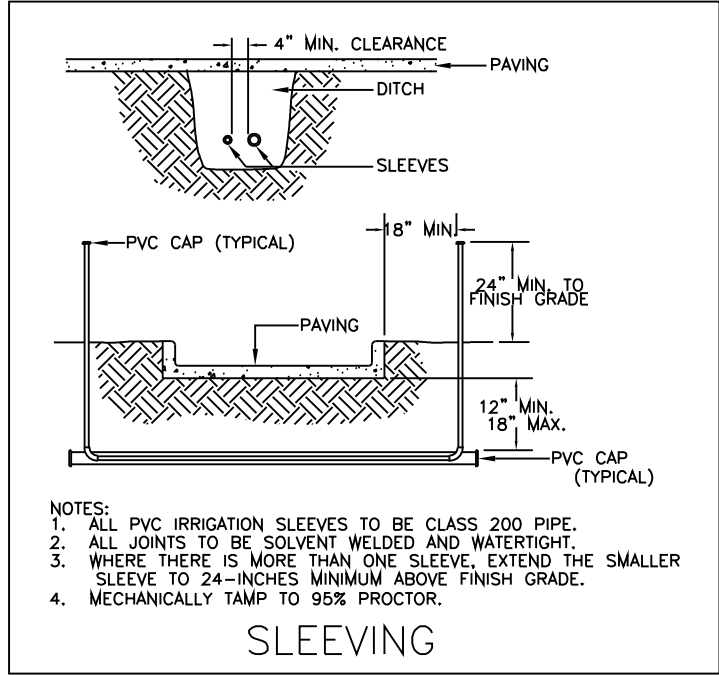
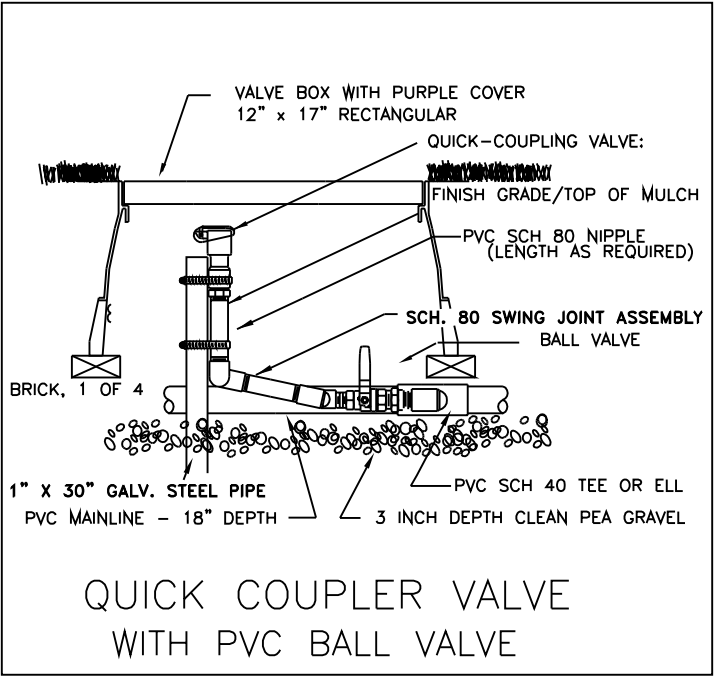
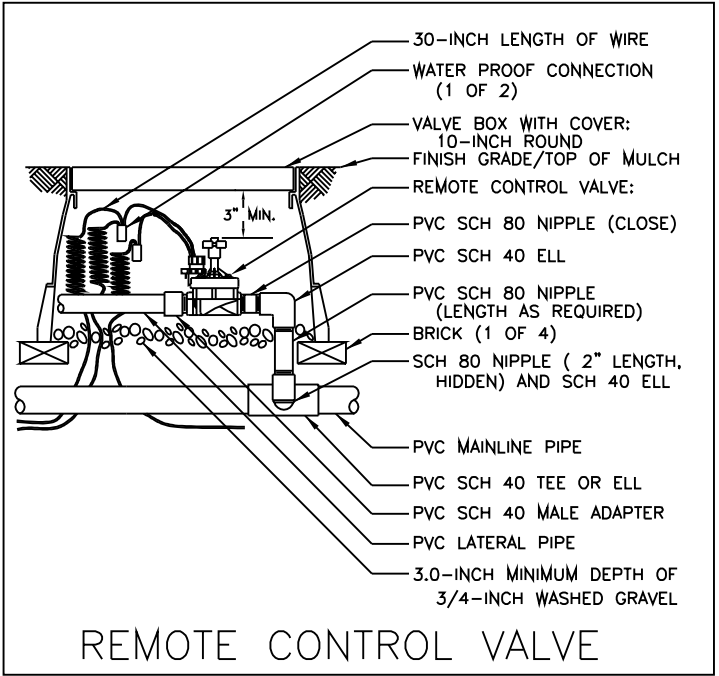
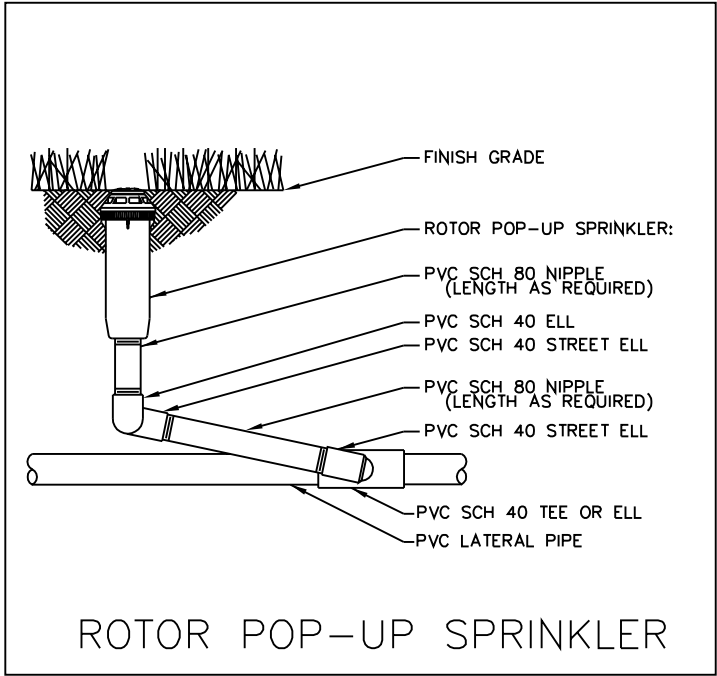
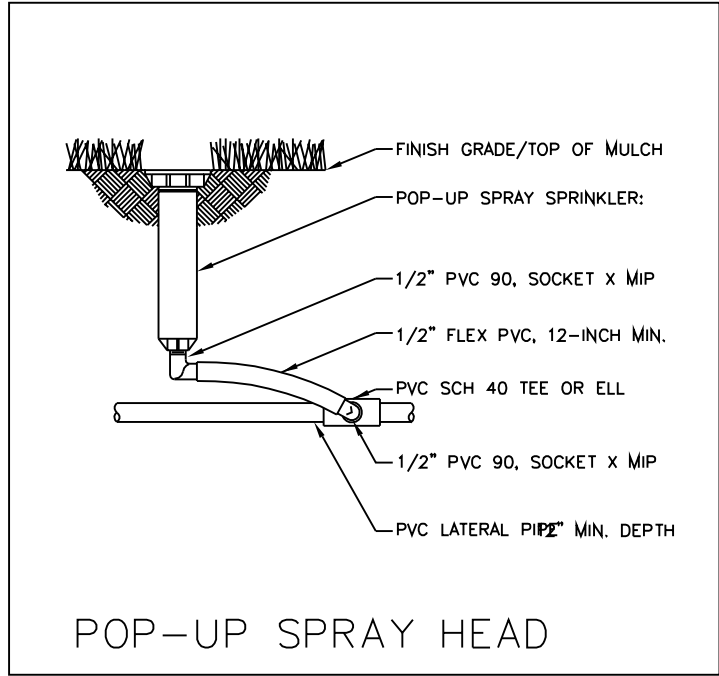
PLOT DATE: 04.30.2020

SHEET:

IRRIGATION PLAN

L5.0

SHEET NO: 27 OF 35



IRRIGATION CONTRACTOR SHALL SELECT MPR SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.

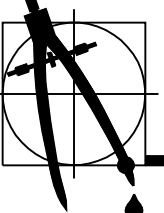
- ### INSTALLATION NOTES
- COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES, AND WILL SECURE ALL REQUIRED PERMITS. L.I.C. SHALL PAY ANY ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN AND SHALL BE ADDRESSED BEFORE ANY CONSTRUCTION BEGINS.
 - NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.
 - CONFIRM MINIMUM STATIC WATER PRESSURE OF 60 PSI AT THE HIGHEST ELEVATION OF THE SYSTEM LIMITS, AND MAXIMUM STATIC WATER PRESSURE OF 90 P.S.I. AT THE LOWEST ELEVATION OF THE SYSTEM LIMITS AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS OUTSIDE THE RANGE STATED ABOVE, DO NOT PROCEED UNTIL DIRECTED BY THE LANDSCAPE ARCHITECT.
 - LATERAL PIPE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES. MAINLINE PIPE AND WIRES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES. NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN EXISTING TREE ROOT ZONES. WHEN HAND - TRENCHING WITHIN EXISTING TREE ROOT ZONES, NO ROOTS LARGER THAN 1" DIAMETER SHALL BE CUT.
 - UNSLEEVED PIPES MAY BE SHOWN UNDER PAVEMENT FOR GRAPHIC CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPED AREAS.
 - COORDINATE LOCATION OF ALL VALVE BOXES WITH THE LANDSCAPE ARCHITECT
 - 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR "IRRIGATION WIRE". WIRE SPLICES SHALL INCLUDE DBY CONNECTORS AS MANUFACTURED BY 3M COMPANY. ALL FIELD SPLICES SHALL BE LOCATED IN A ROUND VALVE BOX OF SUFFICIENT SIZE TO ALLOW INSPECTION.
 - VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3 INCHES OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE. USE 12" x 17" RECTANGULAR VALVE BOXES WITH PURPLE LID FOR QUICK COUPLING VALVES, AND 10" ROUND BOXES FOR ELECTRIC VALVES UNLESS NOTED OTHERWISE.
 - USE RIGID SCH. 80 PVC SWING JOINT ASSEMBLIES TO CONNECT ALL ROTARY HEADS AND QUICK COUPLERS.
 - ALL SPRAY HEADS SHALL BE CONNECTED WITH A 12" MINIMUM LENGTH OF 1/2" FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER.
 - PROVIDE ONE QUICK COUPLER KEY WITH SWIVEL HOSE ELL FOR EVERY SIX Q.C. VALVES. (MINIMUM ONE SET).
 - CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - LATERAL PIPE TO TREE STREAM BUBBLER HEADS IS OMITTED FOR GRAPHIC CLARITY. CONNECT TREE BUBBLER HEADS TO VALVES AS SHOWN WITH CLASS 200 PVC PIPE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF 5 FEET PER SECOND
 - THE PROPOSED LOCATIONS OF ALL ABOVE- GROUND EQUIPMENT INCLUDING BACKFLOW PREVENTORS, CONTROLLERS AND WEATHER SENSORS SHALL BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE THESE ITEMS ARE INSTALLED.
 - ALL HEADS SHALL BE INSTALLED A MINIMUM OF 4" FROM PAVEMENT EDGES. (6" OR GREATER WHERE REQUIRED BY LOCAL CODE) FINAL HEAD ADJUSTMENTS BY THE CONTRACTOR SHALL INCLUDE THE ADDITION OF CHECK VALVES WHERE NEEDED TO PREVENT EXCESSIVE LOW HEAD DRAINAGE. THE CONTRACTOR SHALL BUDGET FOR, AND INSTALL CHECK VALVES FOR UP TO 10 % OF THE TOTAL NUMBER OF HEADS WHEN NEEDED, WITH NO ADDITIONAL COST TO THE OWNER.
 - WHERE SHOWN ON THE PLANS, MASS SHRUB / GROUNDCOVER BEDS SHALL INCLUDE NETAFIM TECHLINE TLHCVR SERIES DRIP TUBE WITH PRE-INSTALLED .55 GPH DRIP EMITTERS AT 12" INTERVALS (TLHCVR5-12). INSTALLED IN CENTER-FED GRIDS WITH ROWS SPACED 18" APART. INDIVIDUAL DRIP TUBE RUNS SHALL NOT EXCEED 150 L.F. PVC LATERAL "TRUNK" LINES SHALL BE INSTALLED 10" DEEP. DRIP TUBE SHALL BE SET BELOW MULCH LAYER, SECURELY STAKED EVERY 18". NETAFIM #TL050MFV-1 FLUSH VALVES SHALL BE INSTALLED AT THE FARTHEST POINTS FROM THE ZONE VALVE. USE 17 MM BARBED FITTINGS FOR DRIP LINE CONNECTIONS, SET THE MAXIMUM OPERATING PRESSURE AT 30 PSI. TECHLINE CV SHALL BE INSTALLED PERPENDICULAR TO SLOPE FACE. INSTALL TLVC IN-LINE CHECK VALVES FOR EVERY 4.5 FEET OF DRIP LINE ELEVATION CHANGE WITHIN THE ZONE. USE NETAFIM STAPLES (#TSL6) TO SECURE TUBING EVERY 18" EACH DRIP ZONE SHALL INCLUDE ONE MAINTENANCE "FLAG" WHICH SHALL CONSIST OF A 12" POP-UP SPRAY HEAD AND COMPLETELY CLOSED SPRAY NOZZLE. THE POP-UP HEAD SHALL BE CONNECTED TO THE DRIP ZONE PIPE, SET FLUSH WITH GRADE, AND LOCATED AT THE FARTHERST DISTANCE FROM THE DRIP VALVE ASSEMBLY. INSTALL THE "FLAG" HEAD ADJACENT TO EDGING OR IN LOW PLANTINGS FOR EASE OF VIEWING.

COORDINATION WITH EXISTING IRRIGATION

THE CONTRACTOR SHALL VISIT THE SITE BEFORE CONSTRUCTION BEGINS TO BECOME FAMILIAR WITH THE EXISTING SYSTEM LAYOUT. REROUTE, REPAIR, OR REINSTALL EXISTING EQUIPMENT, INCLUDING MAINLINE AND CONTROL WIRES AS REQUIRED TO MAINTAIN CONTINUED AUTOMATIC OPERATION OF ALL AREAS OUTSIDE THE LIMITS OF WORK. PROTECT EXISTING EQUIPMENT WITHIN THE LIMITS OF WORK, WHICH IS INTENDED TO REMAIN.

COORDINATION WITH EXISTING TREES

NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.




James Pole
IRRIGATION CONSULTANTS

IRRIGATION DESIGN, CONSULTING, AND
LANDSCAPE WATER MANAGEMENT

TEXAS L.I.C. #658
100 N. LOCUST ST., SUITE 3
DENTON, TEXAS 76201

PHONE: 940.243.2364
FAX: 940.382.2475
james@jamespoleirrigation.com

Approved for Construction



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Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2000 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.

Board & Vellum

115 15th Ave E, Suite 100
Seattle, WA 98112
info@boardandvellum.com | 206.707.8895



**REDMOND WESTSIDE PARK
RENOVATION**

5810 165TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

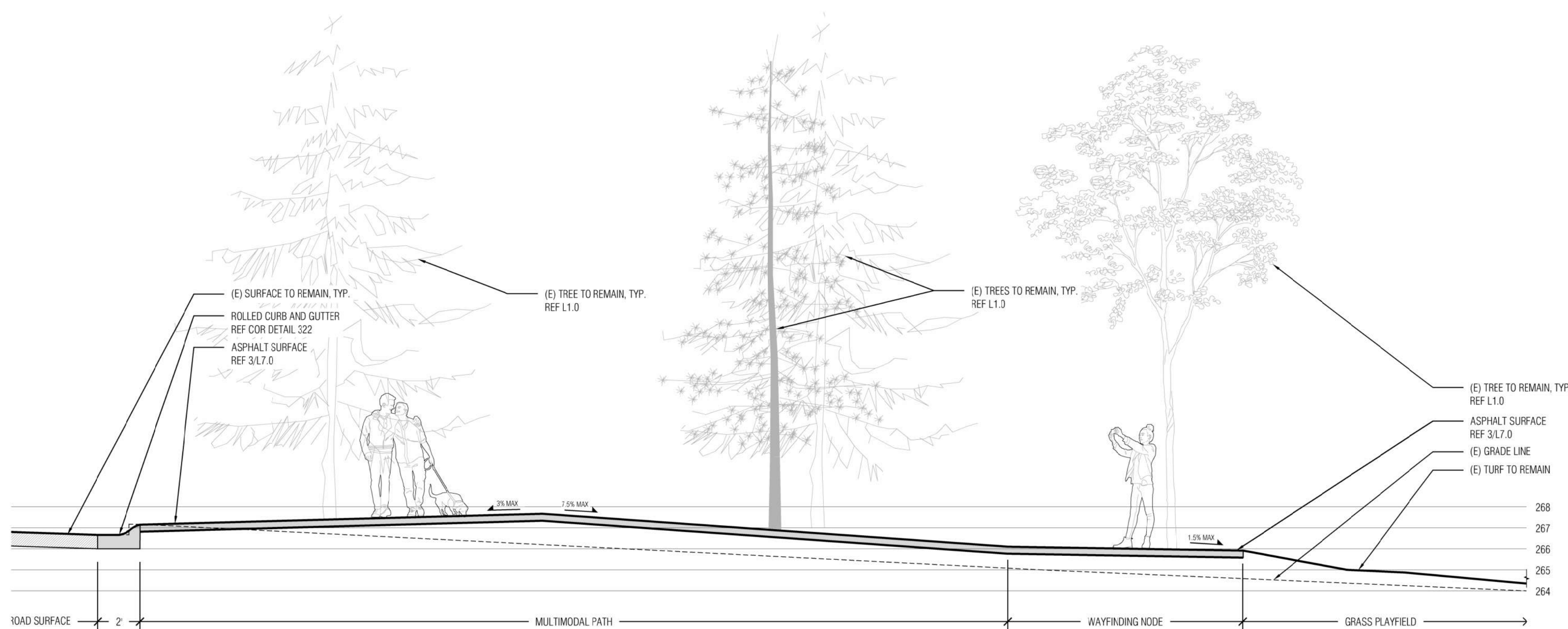
REVISIONS	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
02.26.2020	30% PLANS	
04.20.2020	60% PLANS	
04.30.2020	SITE PLAN ENTITLEMENT	

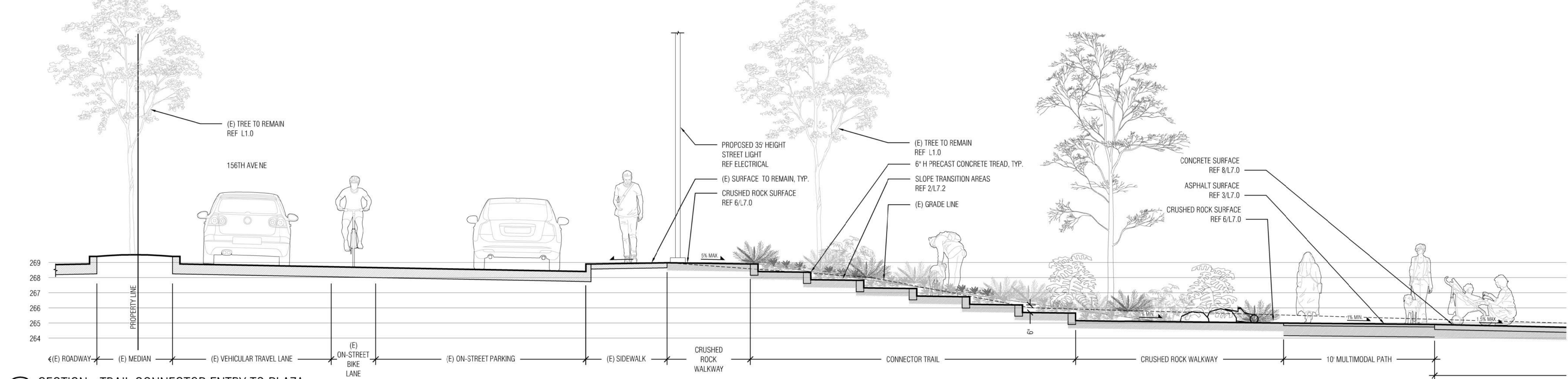
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PROJECT #:	500021924
PLOT DATE:	04.30.2020

SHEET:
IRRIGATION DETAILS

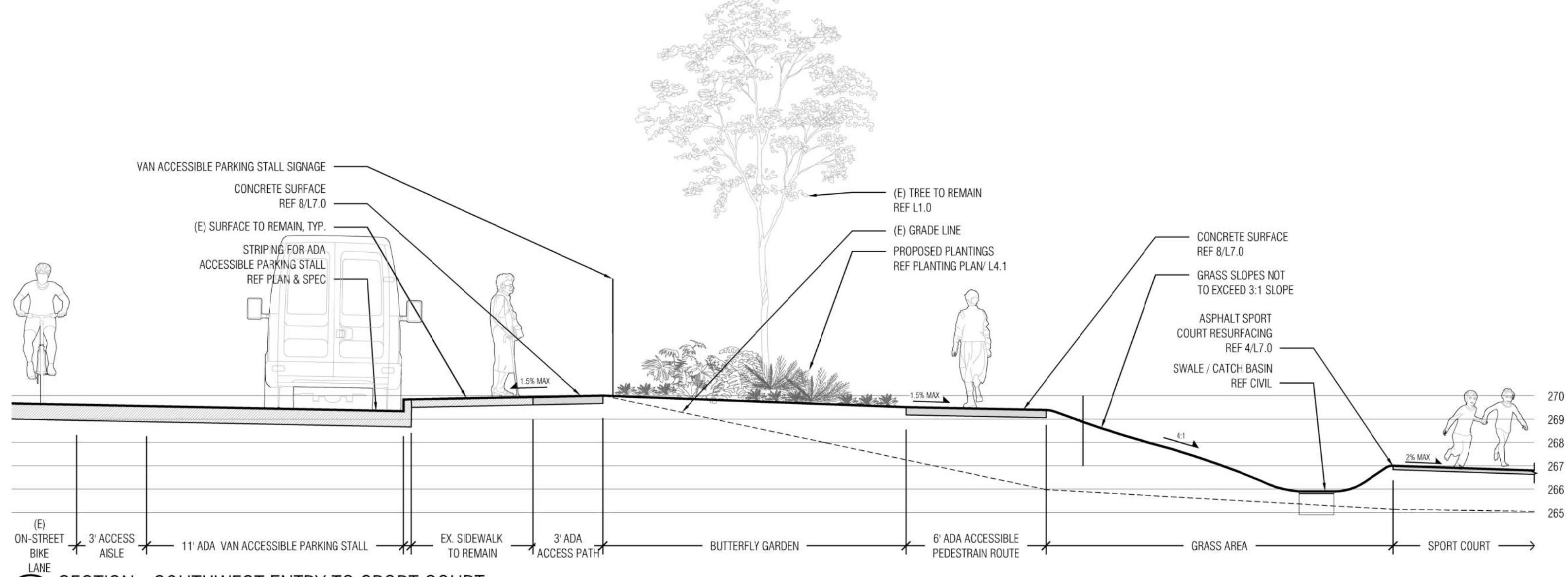
L5.1



3 SECTION - NORTHWEST ENTRY TO PLAYFIELDS
SCALE: 1/4"=1'-0"



2 SECTION - TRAIL CONNECTOR ENTRY TO PLAZA
SCALE: 1/4"=1'-0"



1 SECTION - SOUTHWEST ENTRY TO SPORT COURT
SCALE: 1/4"=1'-0"

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.



REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

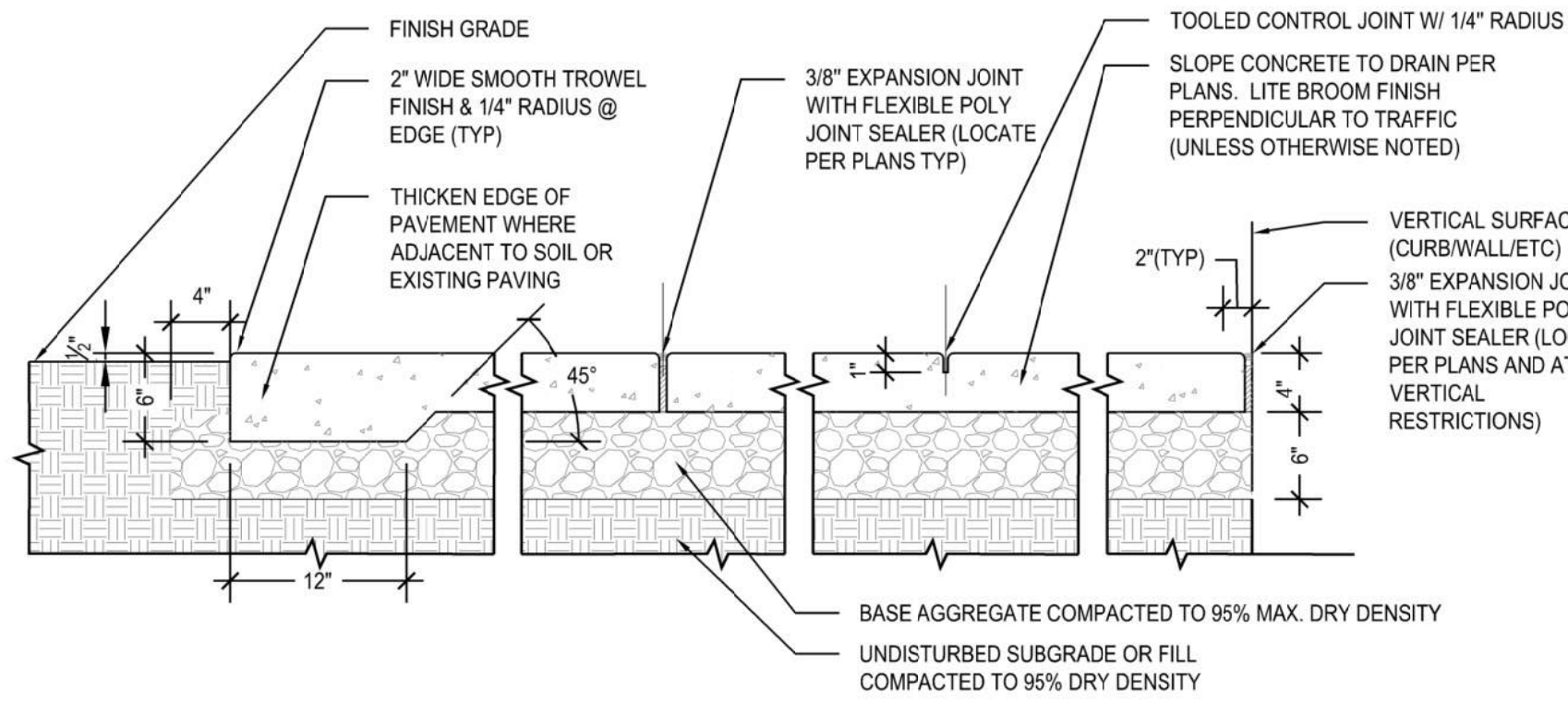
REVISIONS	DATE	DESCRIPTION
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ISSUANCES	
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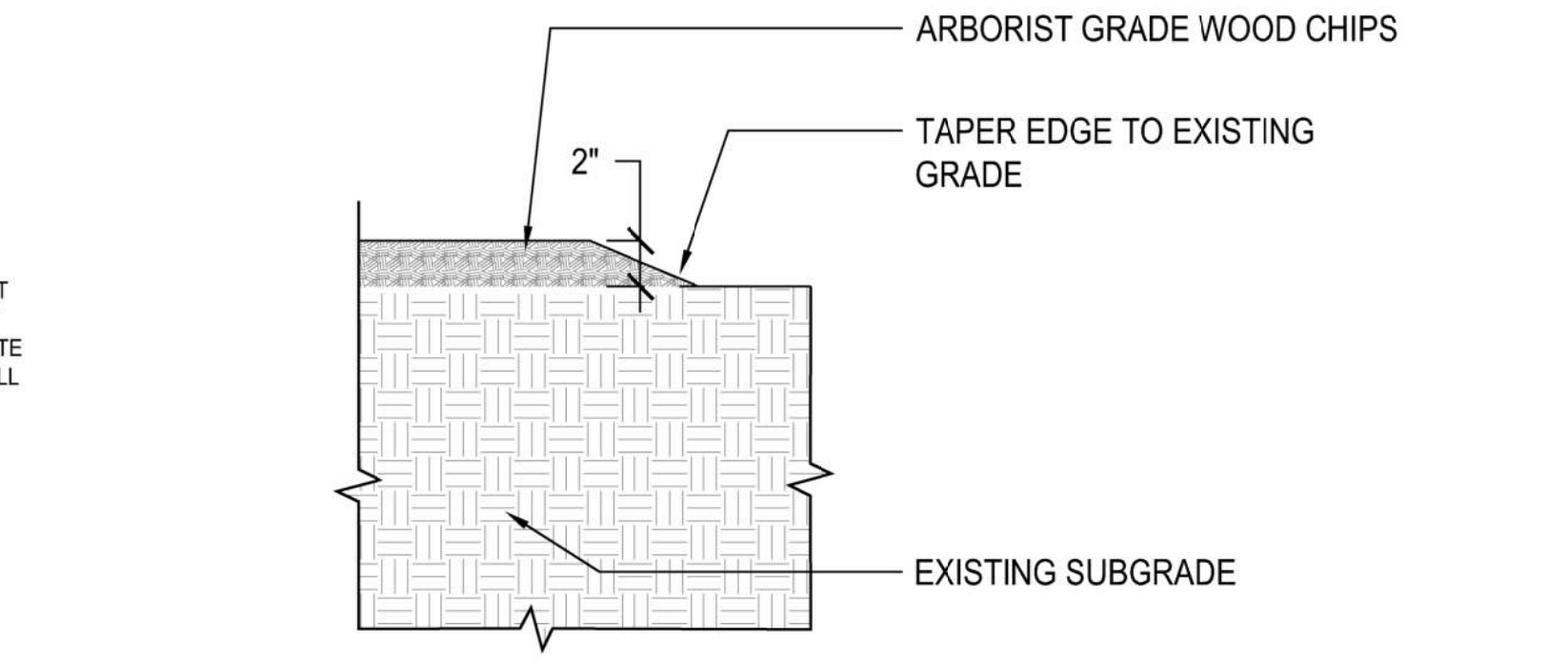
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ORIGINAL SHEET 100-B-270-02P

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PROJECT #: 500021924

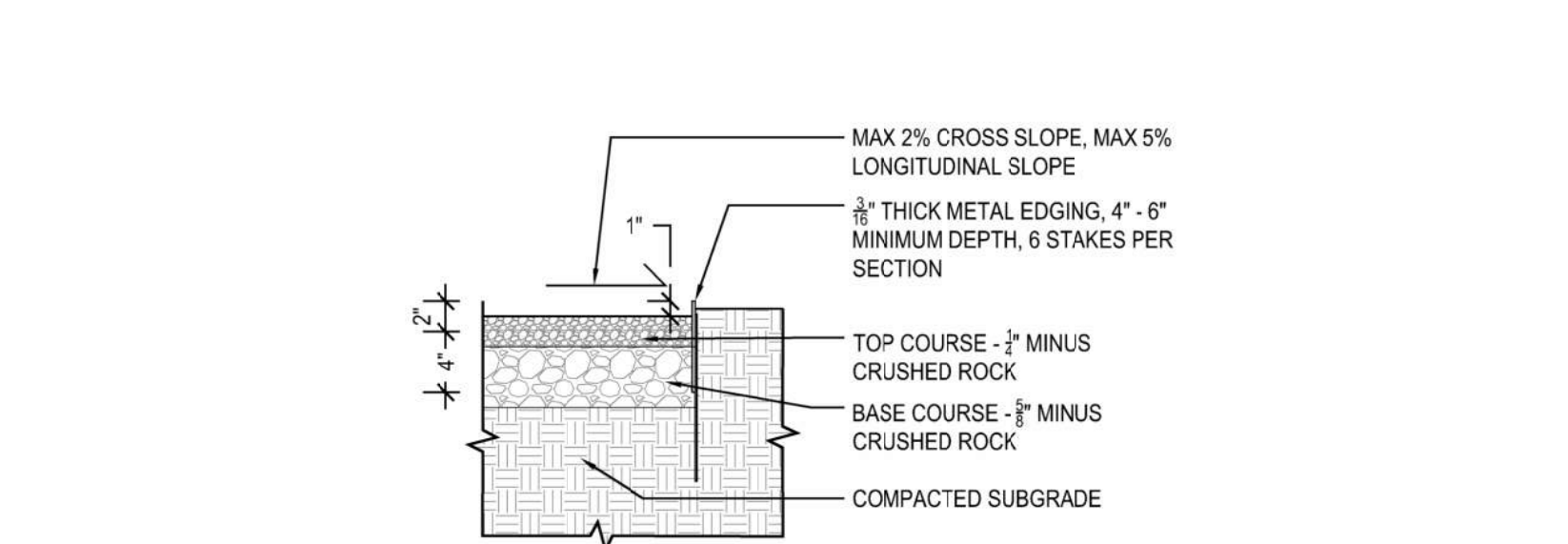
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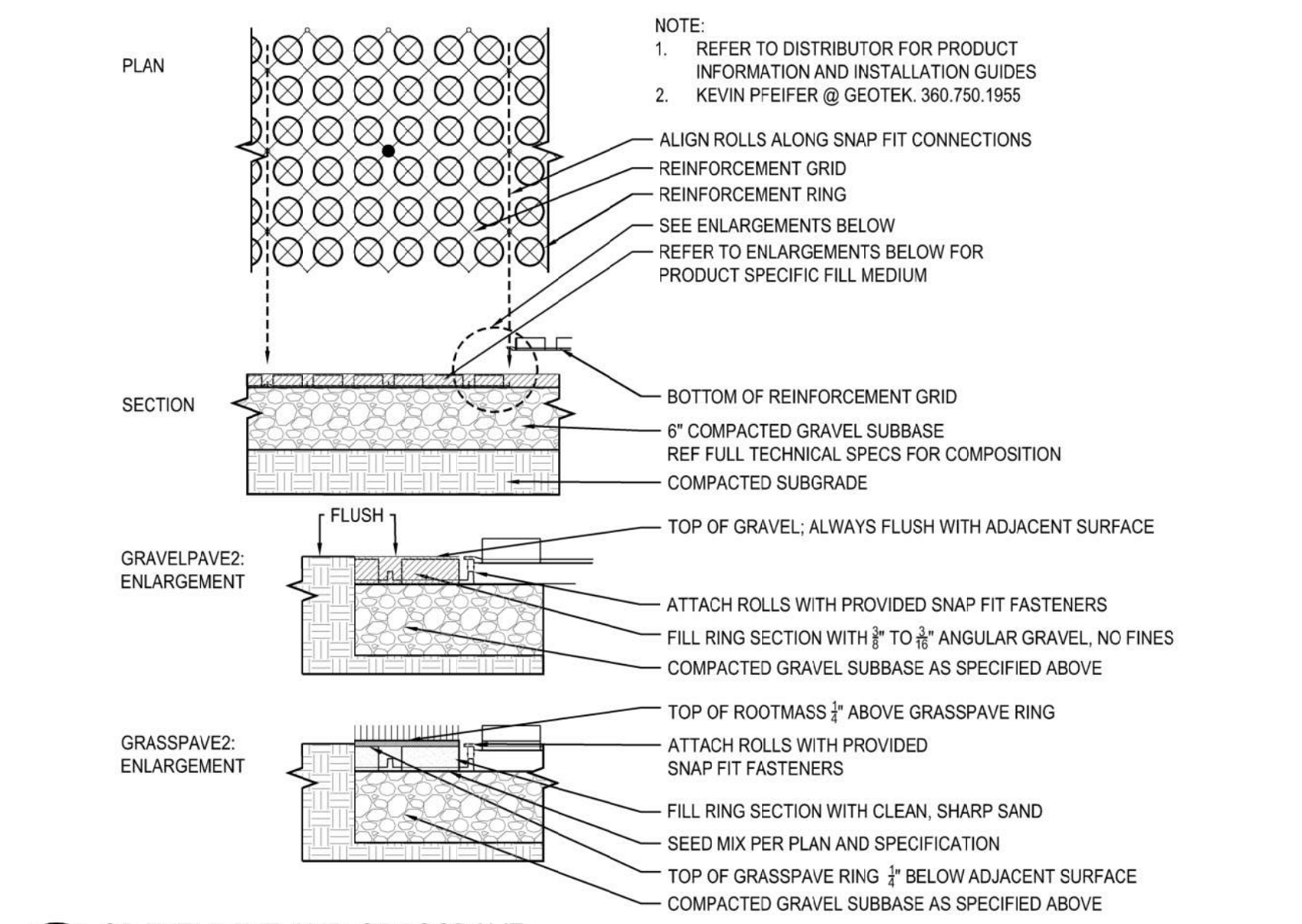
8 CONCRETE SURFACE
SCALE: NTS



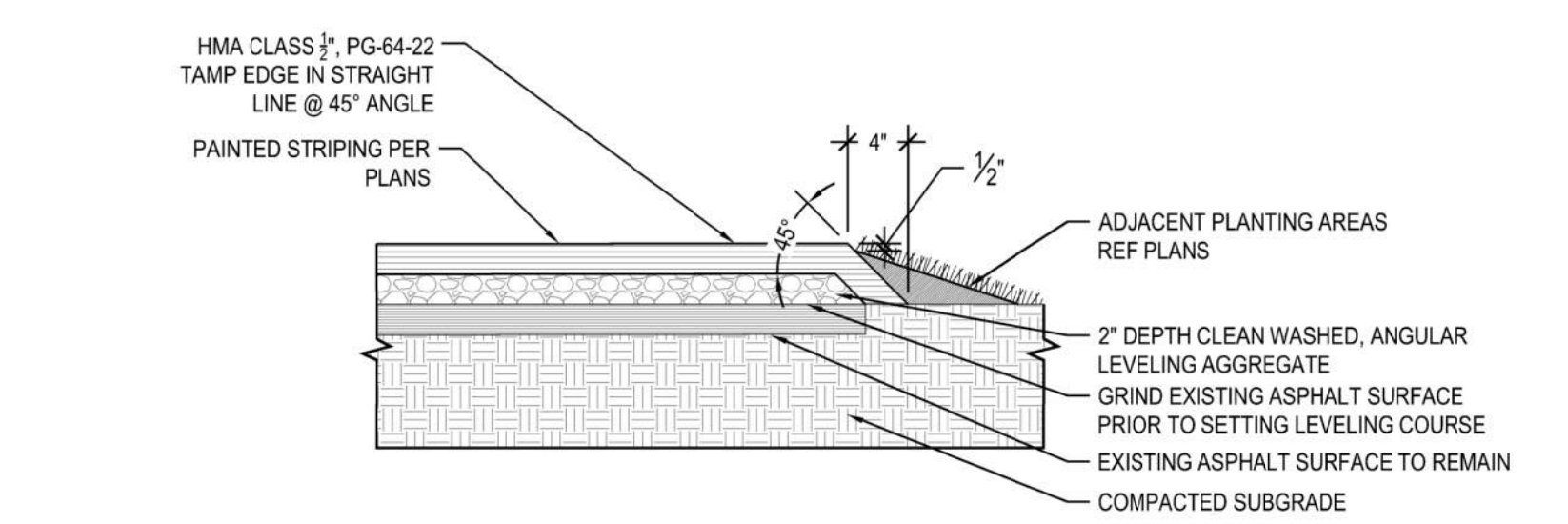
7 SOFT SURFACE MATERIAL
SCALE: NTS



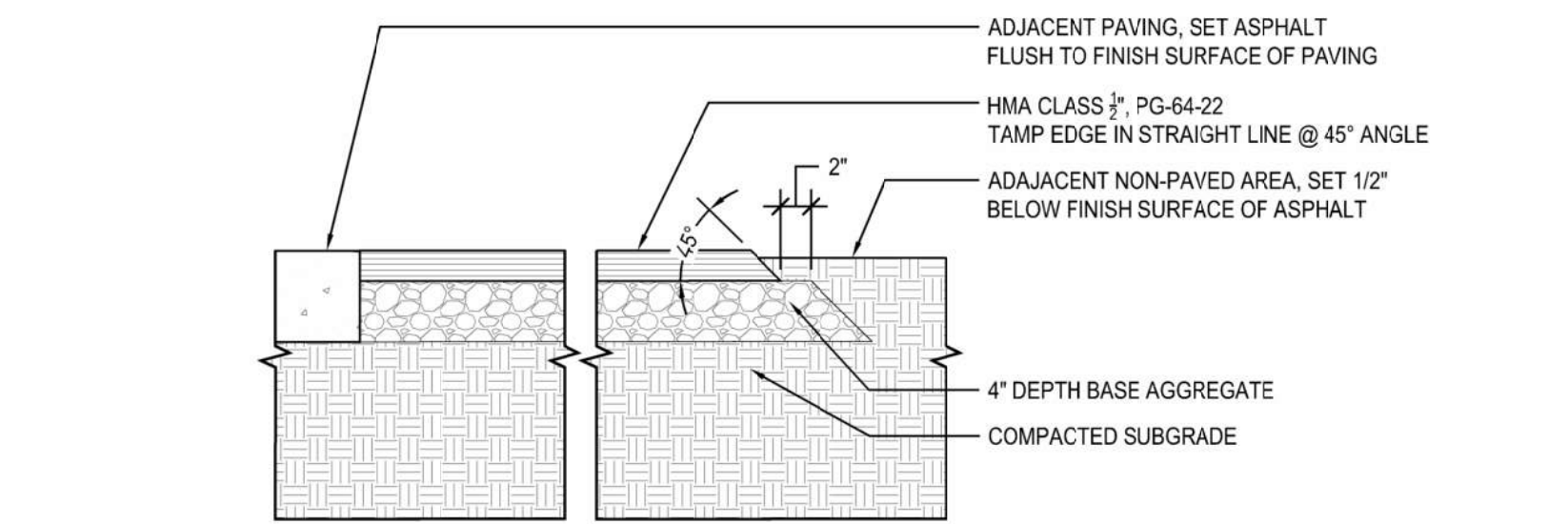
6 CRUSHED ROCK SURFACE
SCALE: 1" = 1'-0"



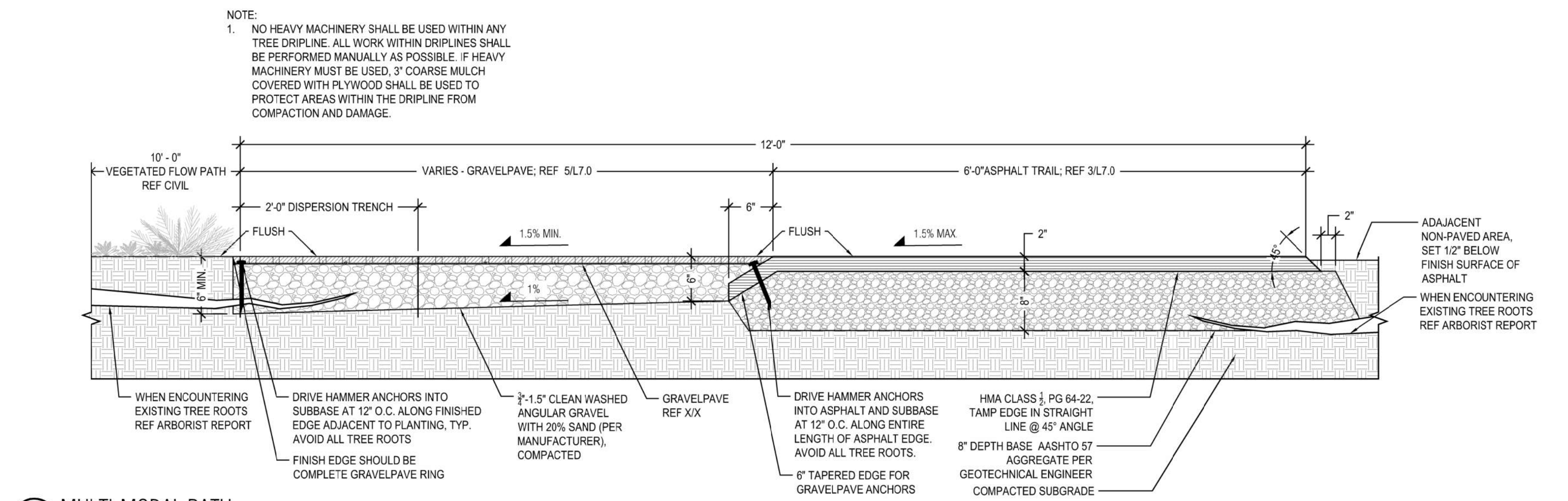
5 GRAVELPAVE AND GRASSPAVE
SCALE: 1" = 1'-0"



4 ASPHALT SPORT COURT RESURFACING
SCALE: 1" = 1'-0"



3 ASPHALT SURFACE
SCALE: 1 1/2" = 1'-0"



1 MULTI-MODAL PATH
SCALE: 1" = 1'-0"

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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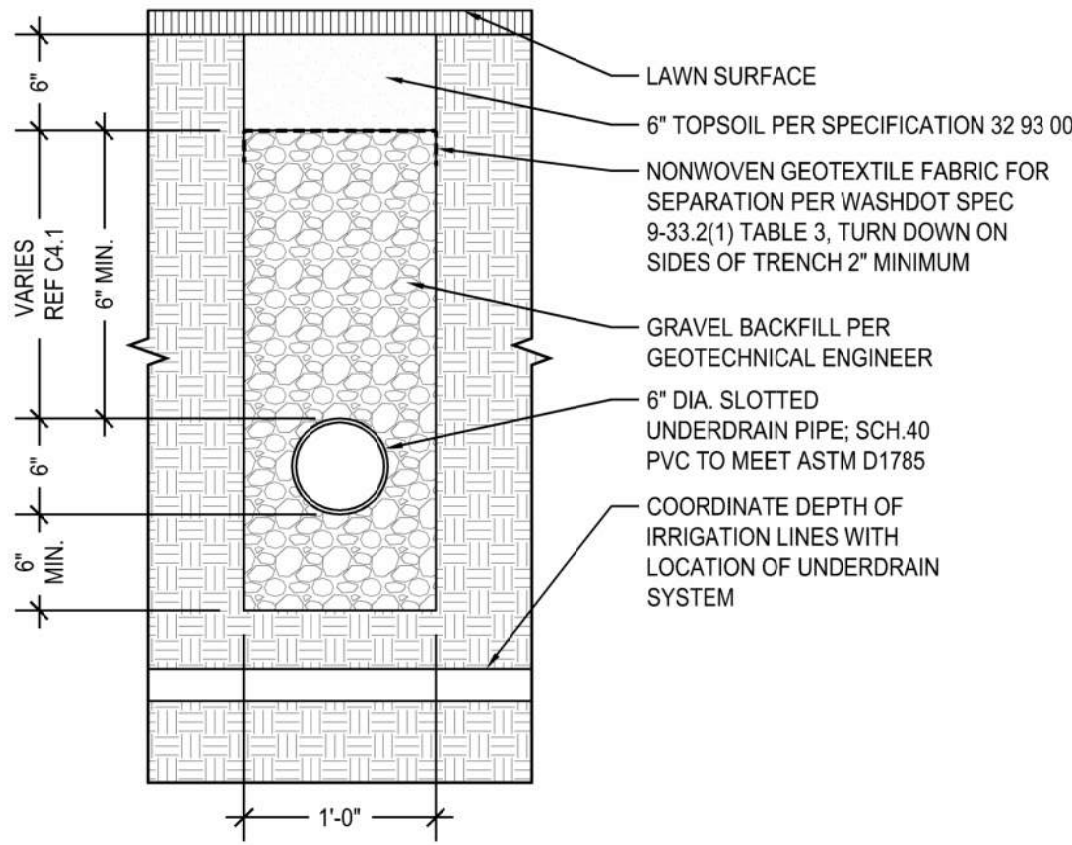
**REDMOND WESTSIDE PARK
RENOVATION**
5810 165TH AVE NE
REDMOND, WA 98052
OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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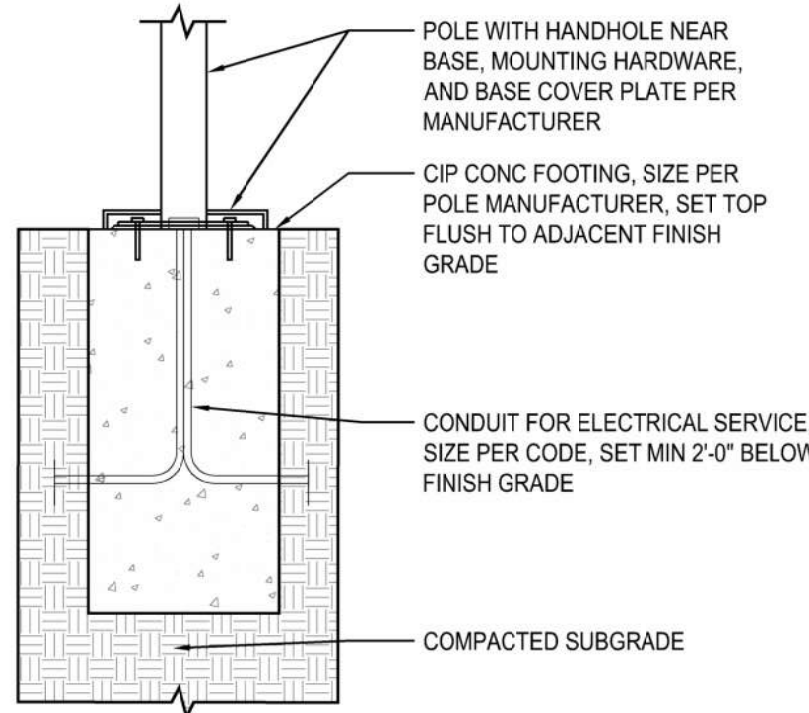
ISSUANCES	
DATE	DESCRIPTION
02.26.2020	30% PLANS
04.20.2020	60% PLANS
04.30.2020	SITE PLAN ENTITLEMENT

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ORIGINAL SHEET L05 & 2702P

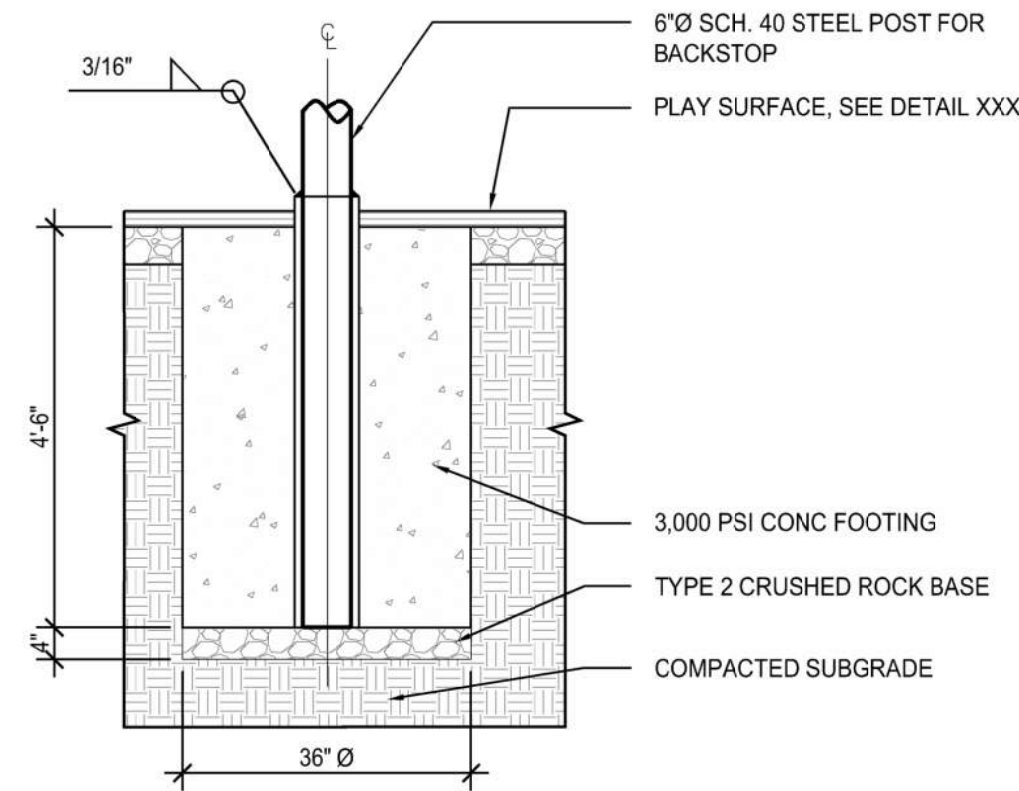
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PROJECT #: 500021924
PLOT DATE: 04.30.2020



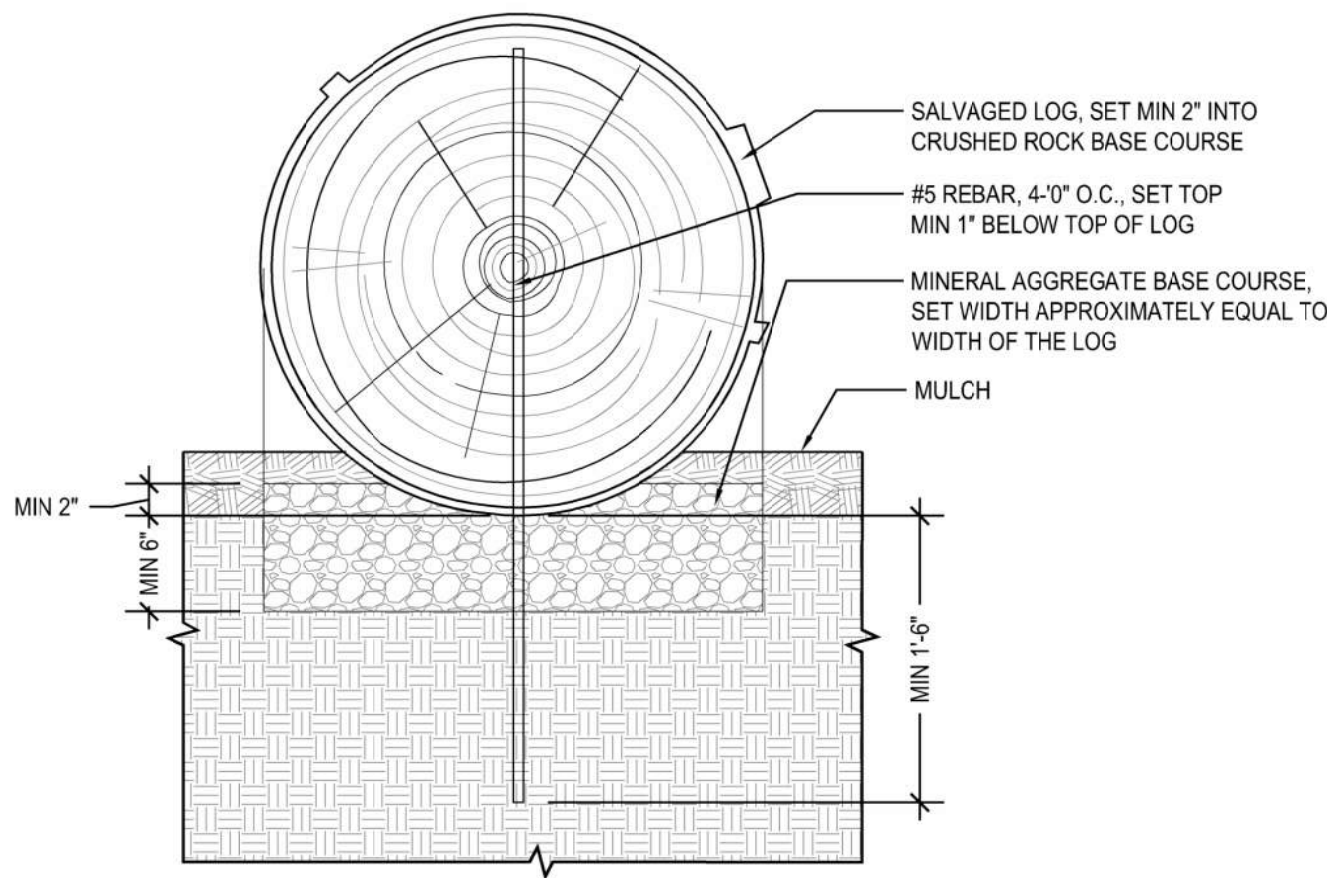
8 LAWN AREA DRAINAGE TRENCH
SCALE: 1"=1'-0"



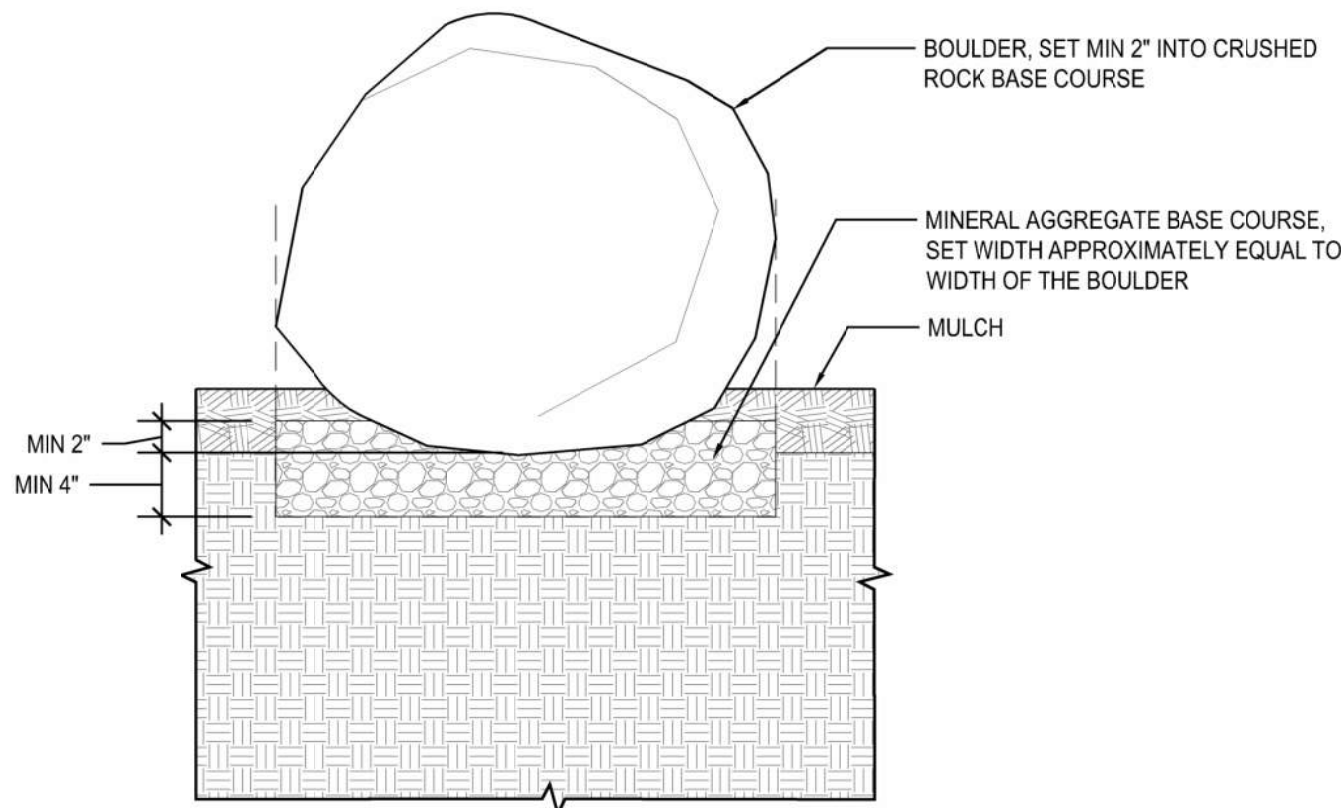
7 STREET LIGHT POLE FOOTING
SCALE: NTS



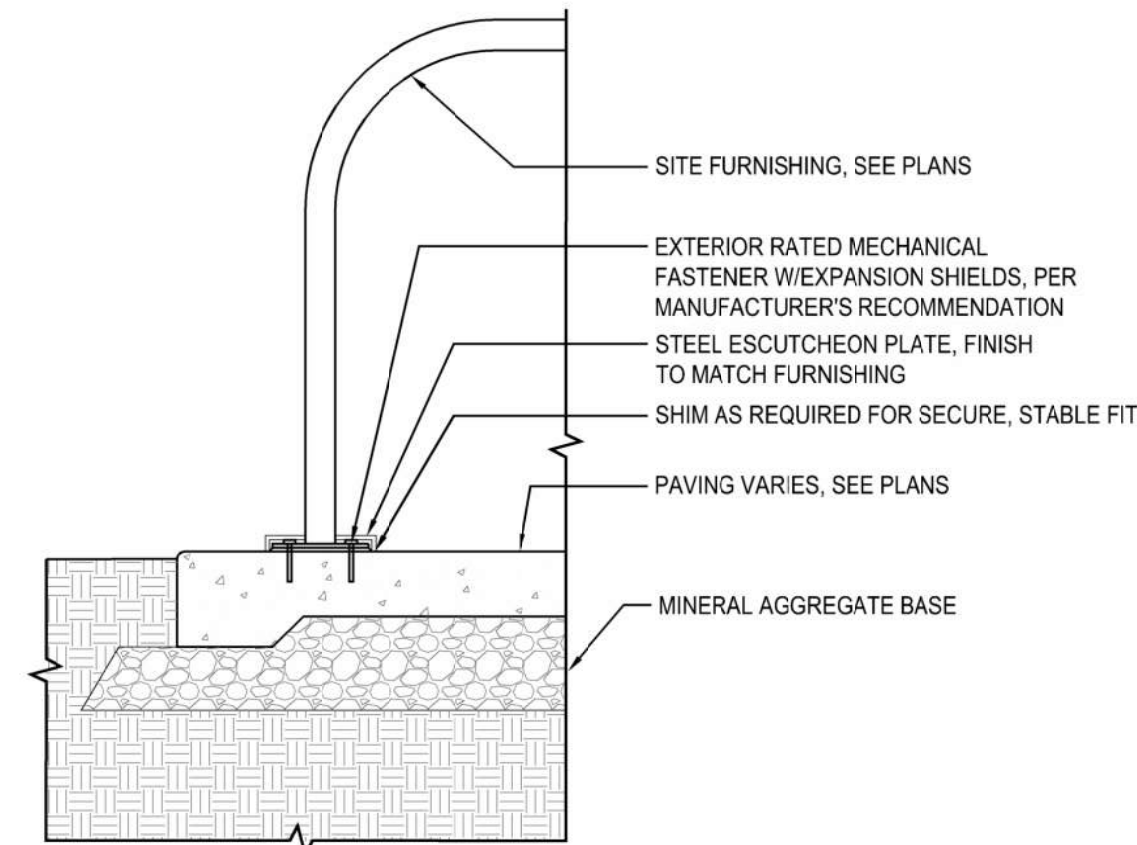
6 BASKETBALL POST FOOTING
SCALE: 1/2" = 1'-0"



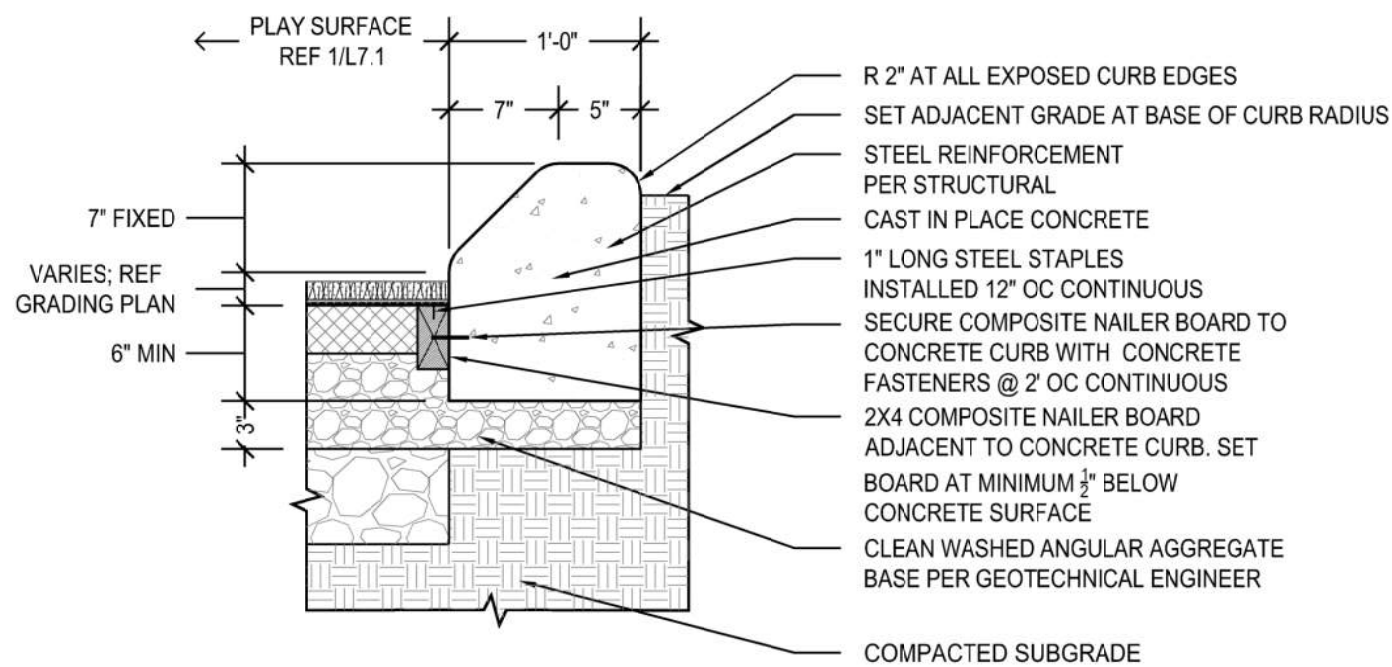
5 SALVAGED LOG
SCALE: 1" = 1'-0"



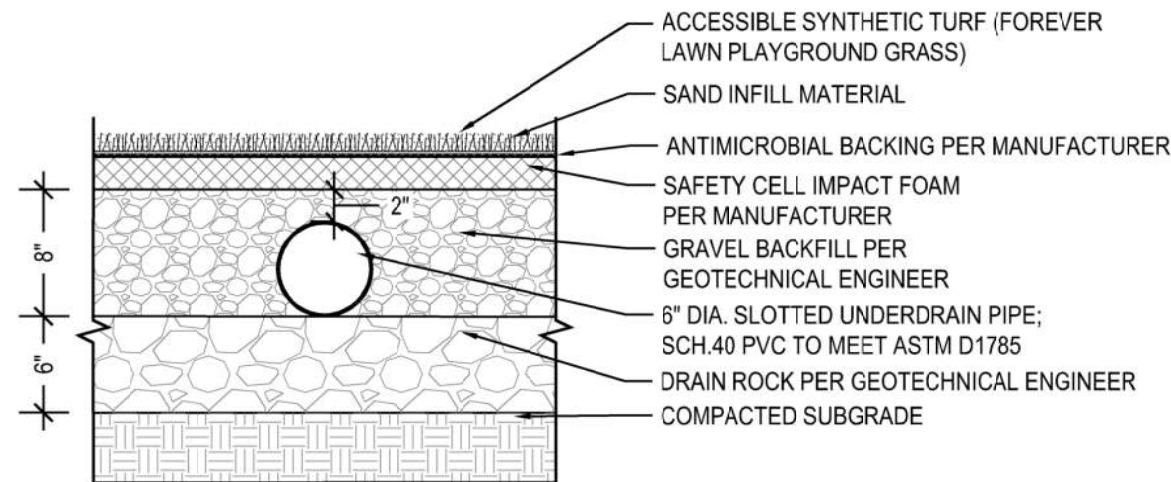
4 BOULDER
SCALE: 1" = 1'-0"



3 SITE FURNISHING ATTACHMENT
SCALE: 1 1/2"=1'-0"



2 PLAY AREA CURB
SCALE: 1"=1'-0"



1 PLAY AREA SURFACE
SCALE: 1"=1'-0"

Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

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REVISIONS	DATE	DESCRIPTION
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ORIGINAL SHEET L05 & 27X24P

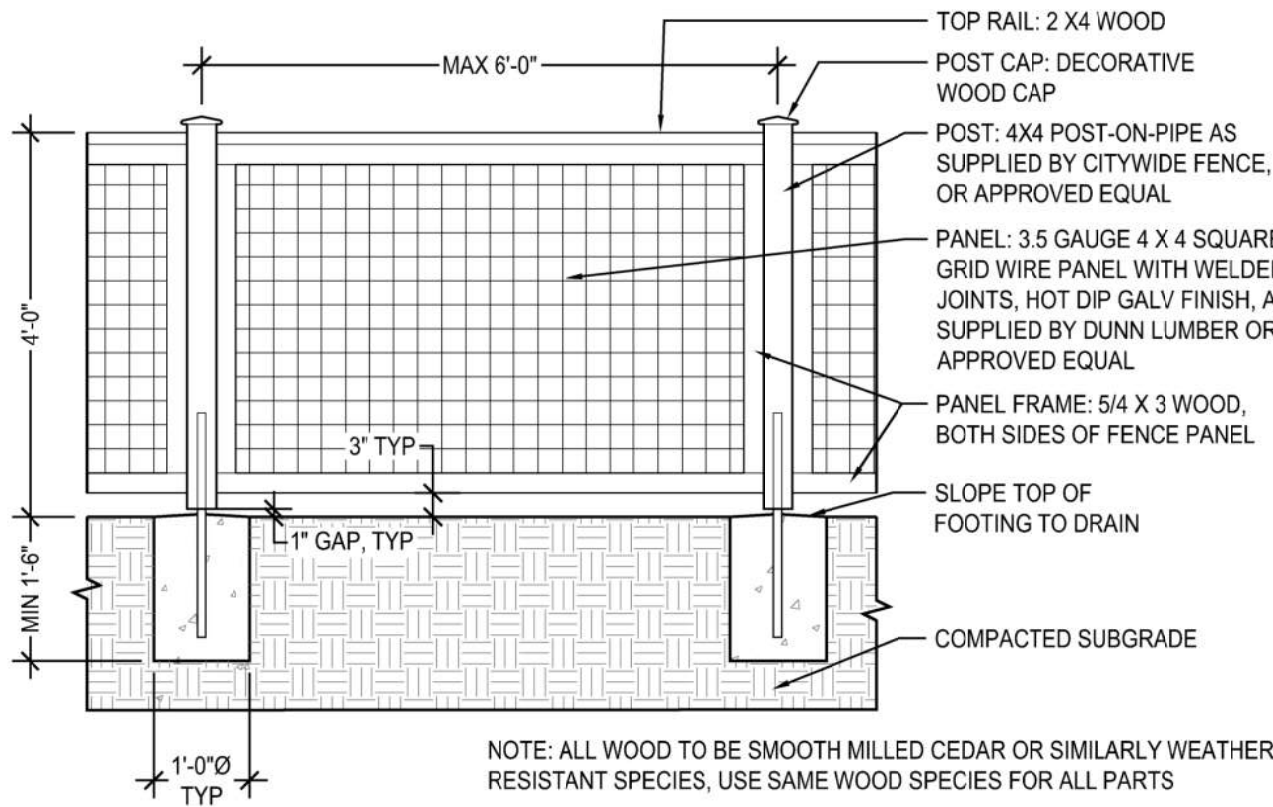
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PROJECT #:	500021924
PLOT DATE:	04.30.2020

SHEET:

DETAILS L7.1

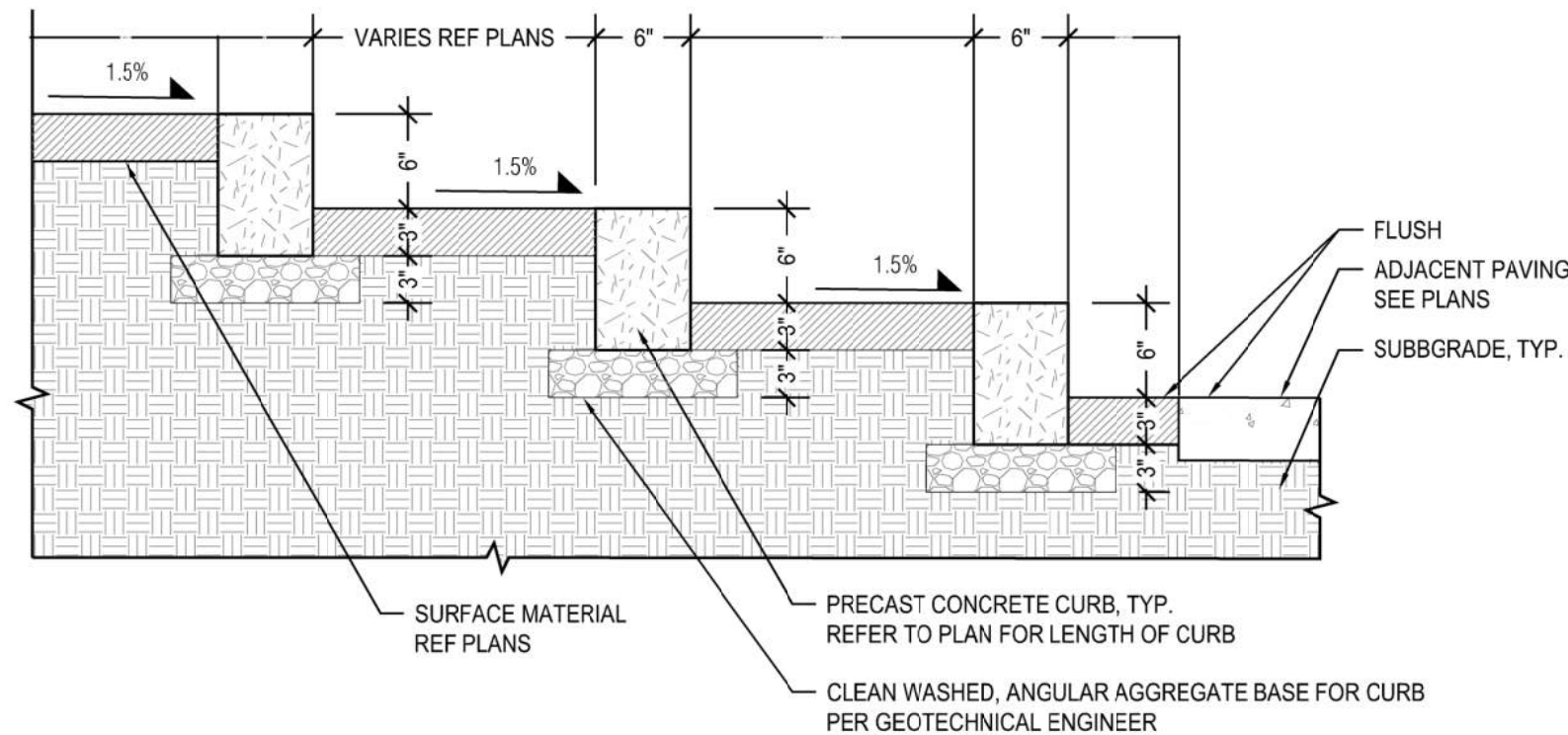
1 LOW FENCING

SCALE: 1/2"=1'-0"



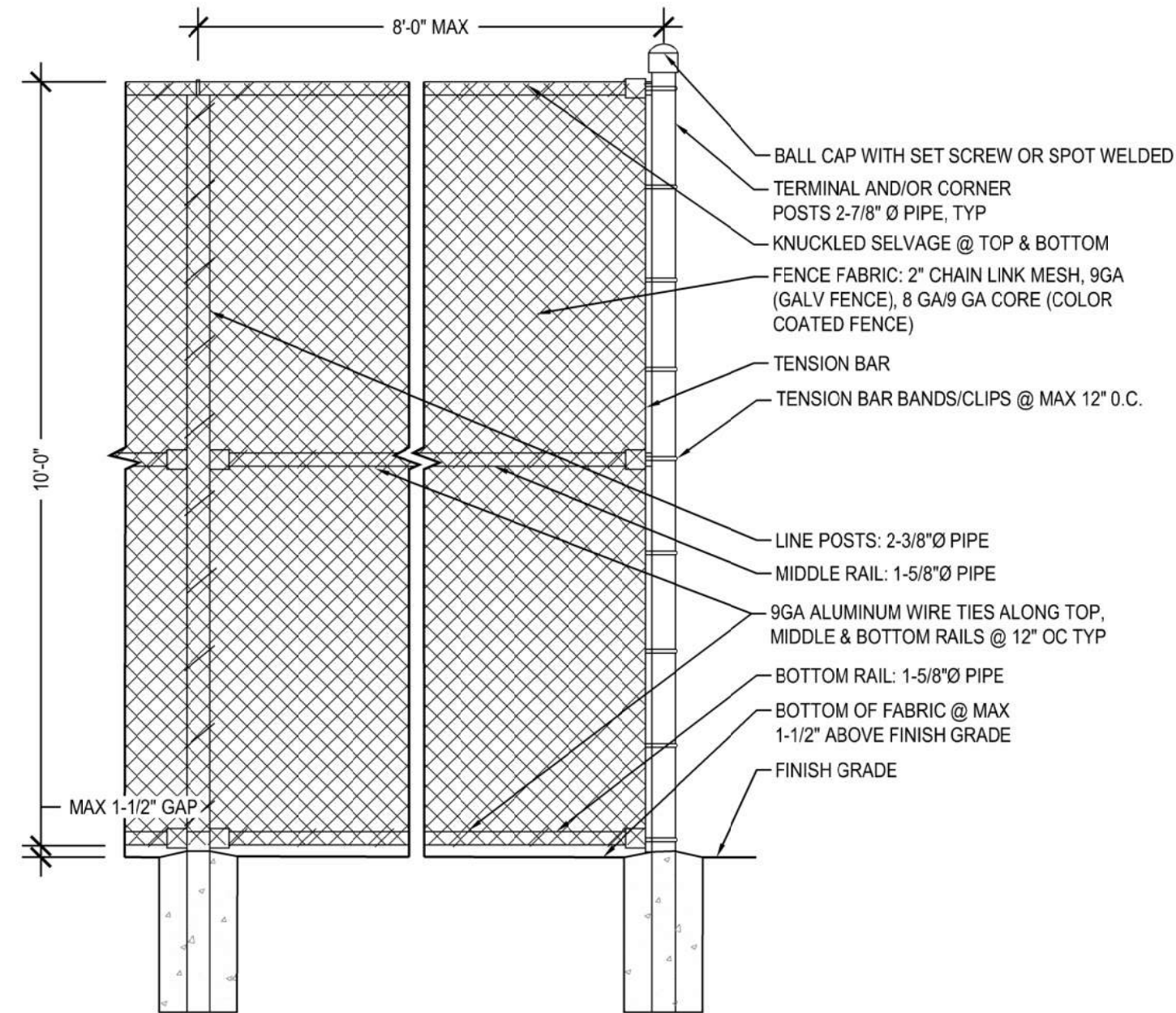
2 SLOPE TRANSITION AREAS

SCALE: 1"=1'-0"



3 10' HEIGHT CHAIN LINK FENCE

SCALE: 1/2"=1'-0"



Approved for Construction

Steve Flude, P.E.
City Engineer

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REDMOND WESTSIDE PARK
RENOVATION

5810 156TH AVE NE
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OWNER:
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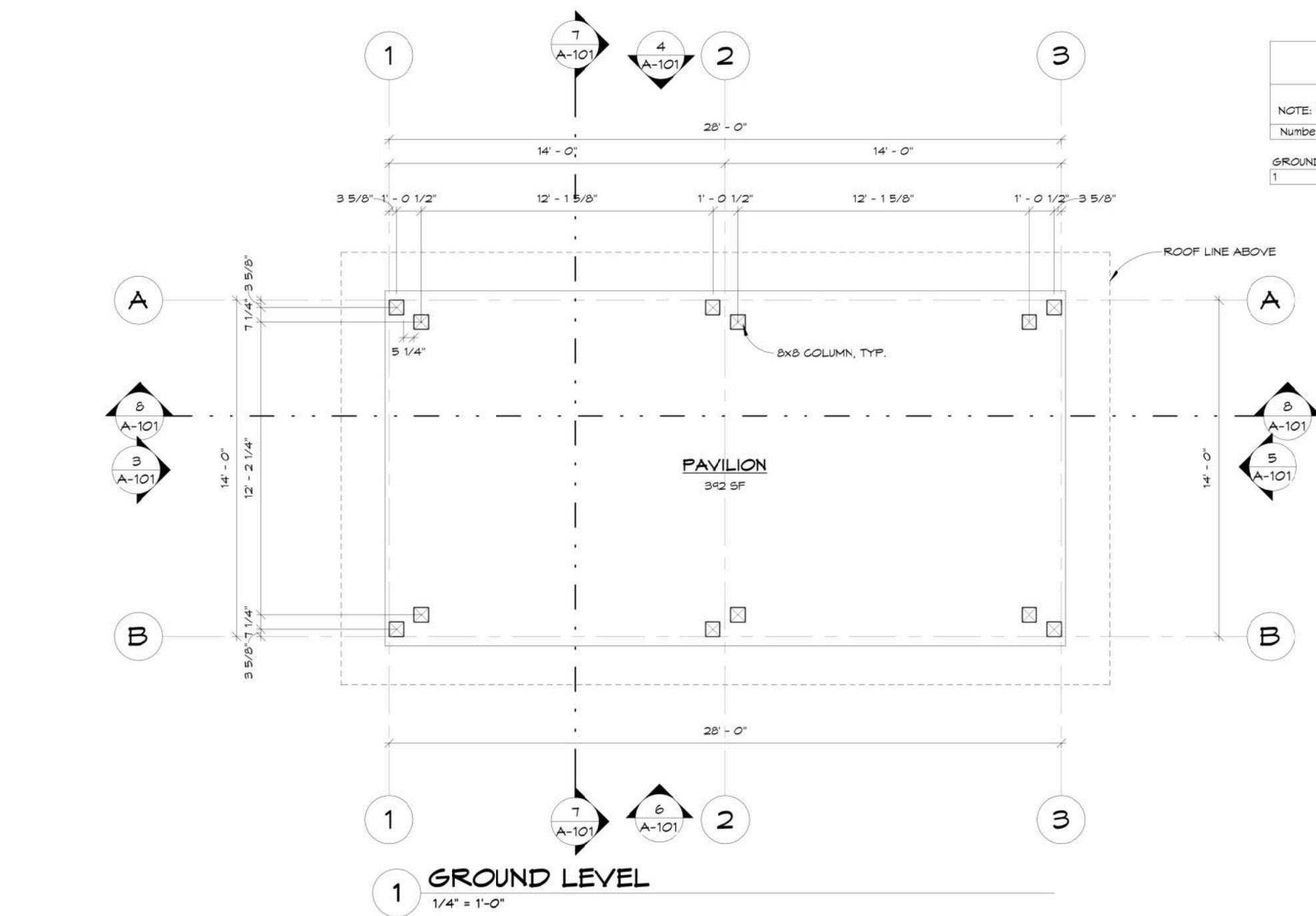
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ORIGINAL SHEET 100 & 2702P

BOARD & VELLUM PROJECT #:	2019176.00
PROJECT #:	500021924
PLOT DATE:	04.30.2020

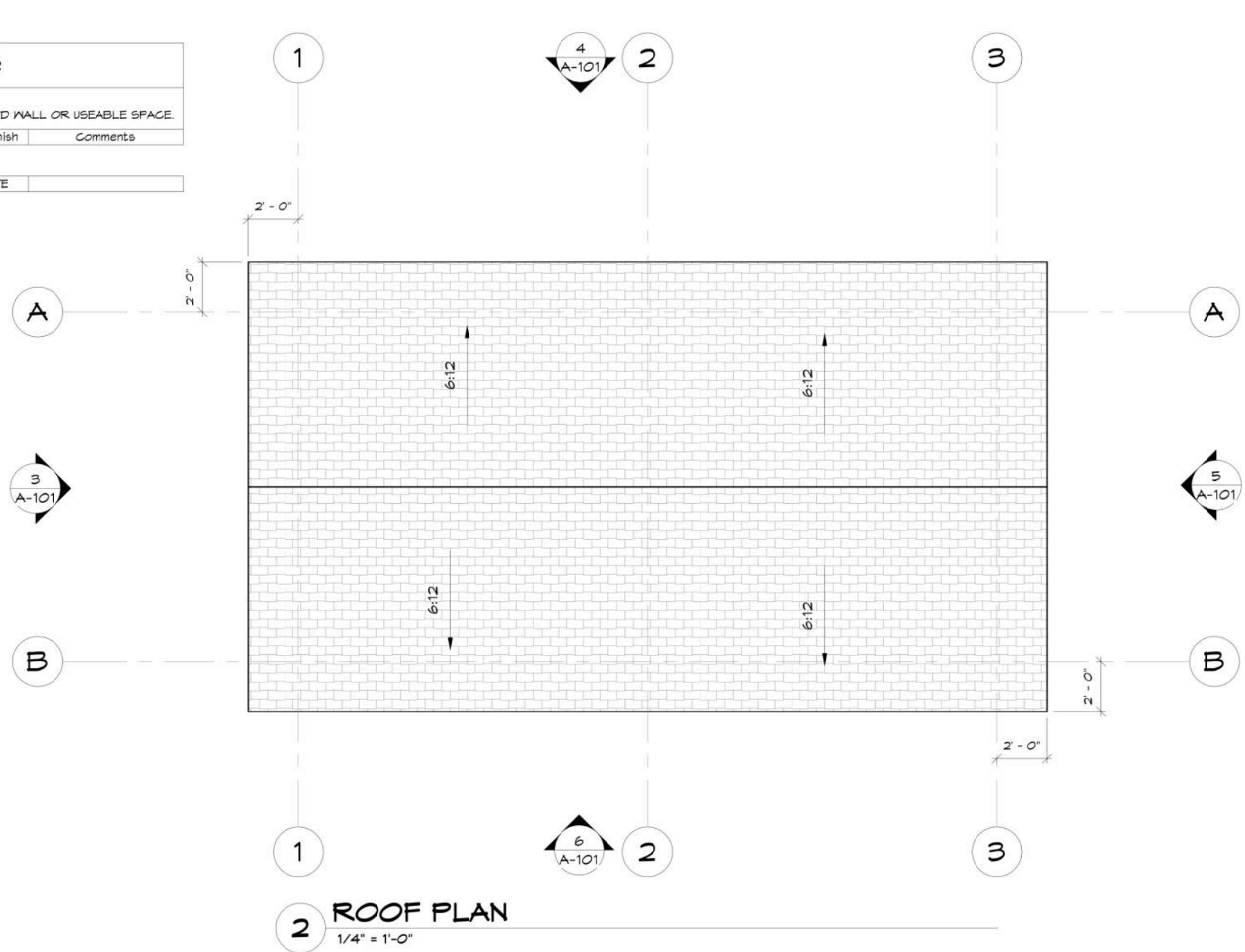
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DETAILS
L7.2

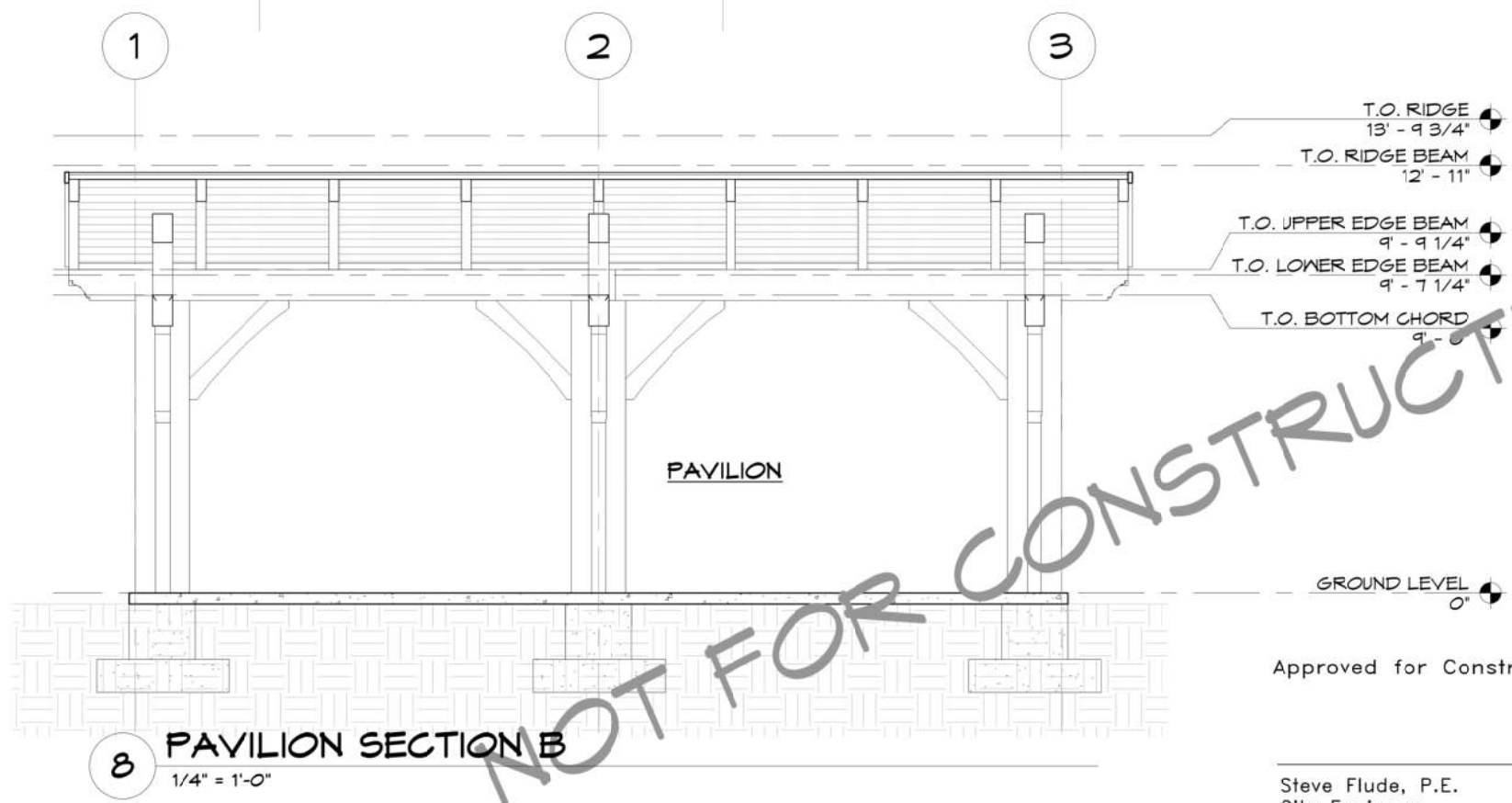
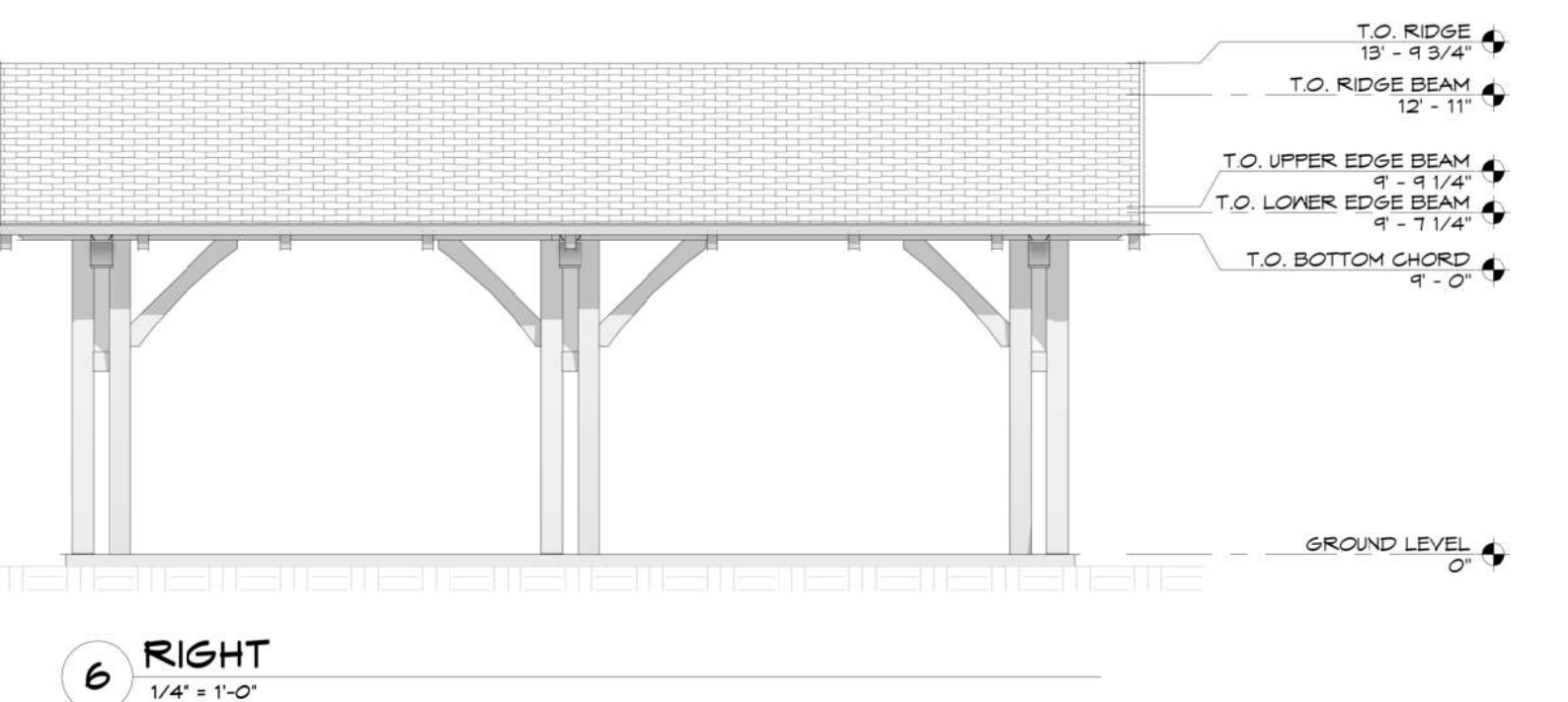
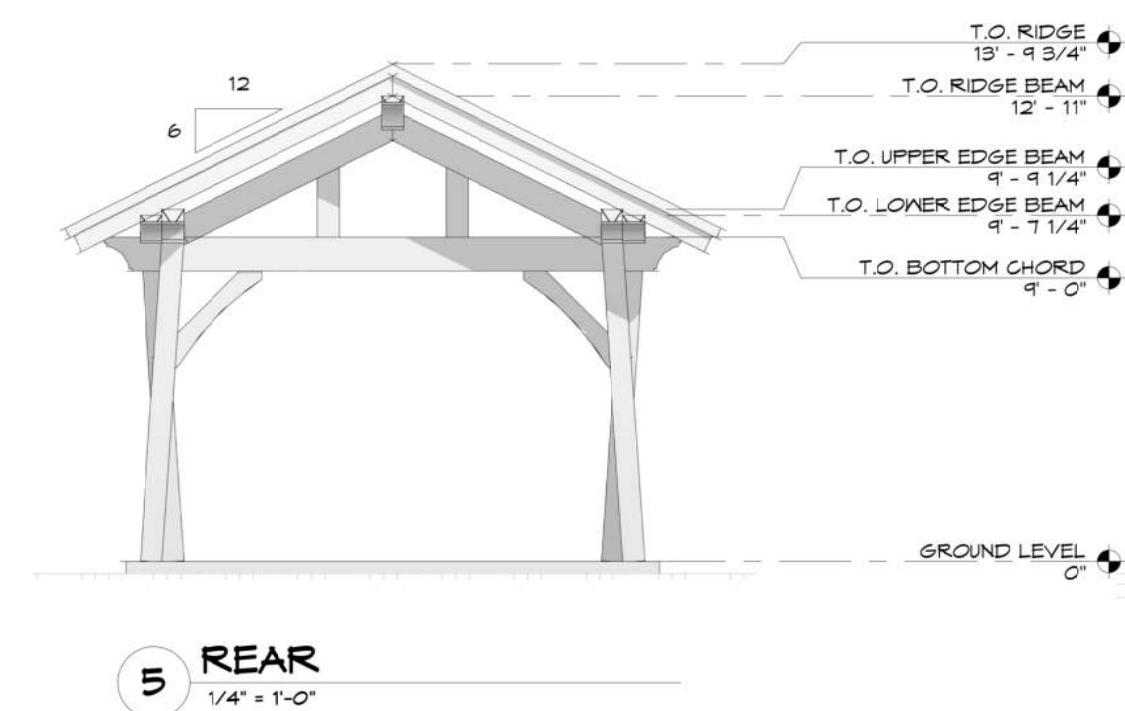
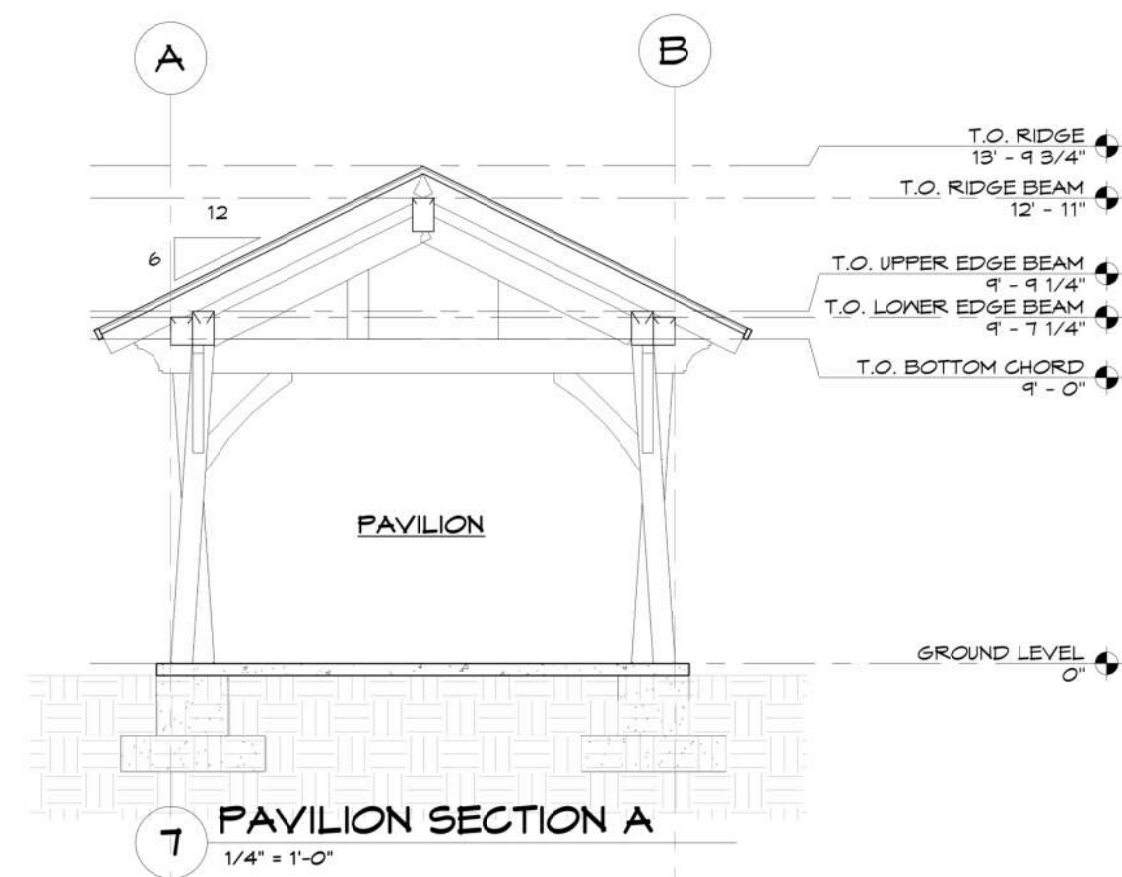
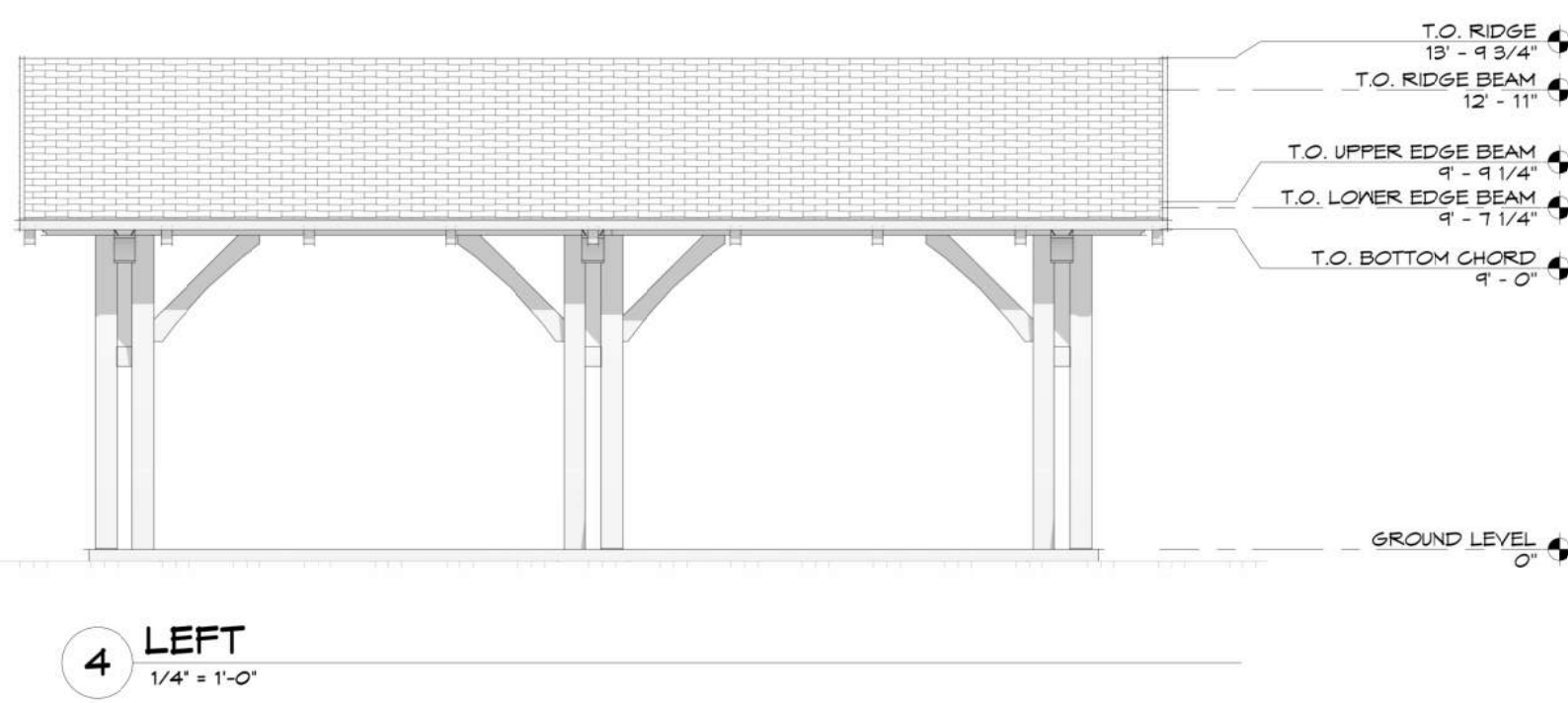
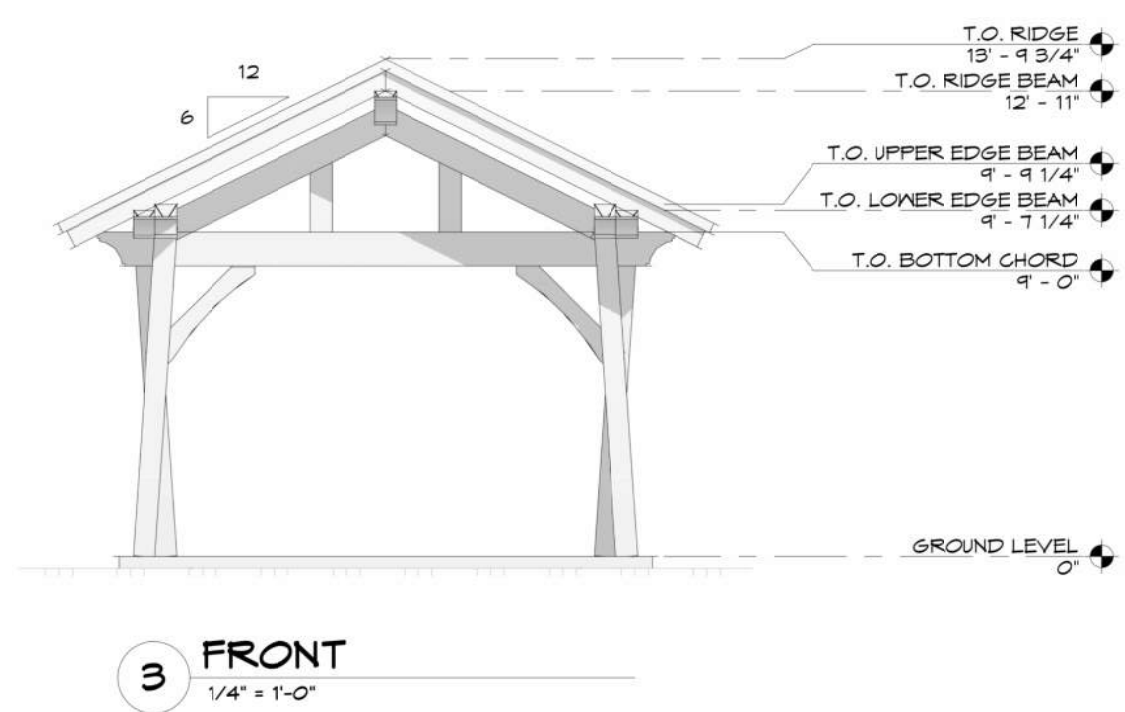
SHEET NO.: 33 OF 35



Room Schedule				
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USEABLE SPACE.				
Number	Name	Area	Floor Finish	Comments
1	PAVILION	342 SF	CONCRETE	



NOTE:
1. PRODUCT IS A MODIFIED QUEEN
PAVILION KIT FROM DC STRUCTURES
2. PAVILION COLUMN DIMENSIONS PER
PLAN
3. CONTACT SUMMER@DCBUILDING.COM



Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH
THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND
DETAILS.

REDMOND WESTSIDE PARK RENOVATION

5810 155TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS DATE DESCRIPTION

ISSUANCES

DATE DESCRIPTION

02.26.2020 30% PLANS

04.20.2020 60% PLANS

04.30.2020 SITE PLAN ENTITLEMENT

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ORIGINAL SHEET 100 & 200P

BOARD & VELLUM PROJECT #: 2019176.00

PROJECT #:

500021924

PLOT DATE:

04.30.2020

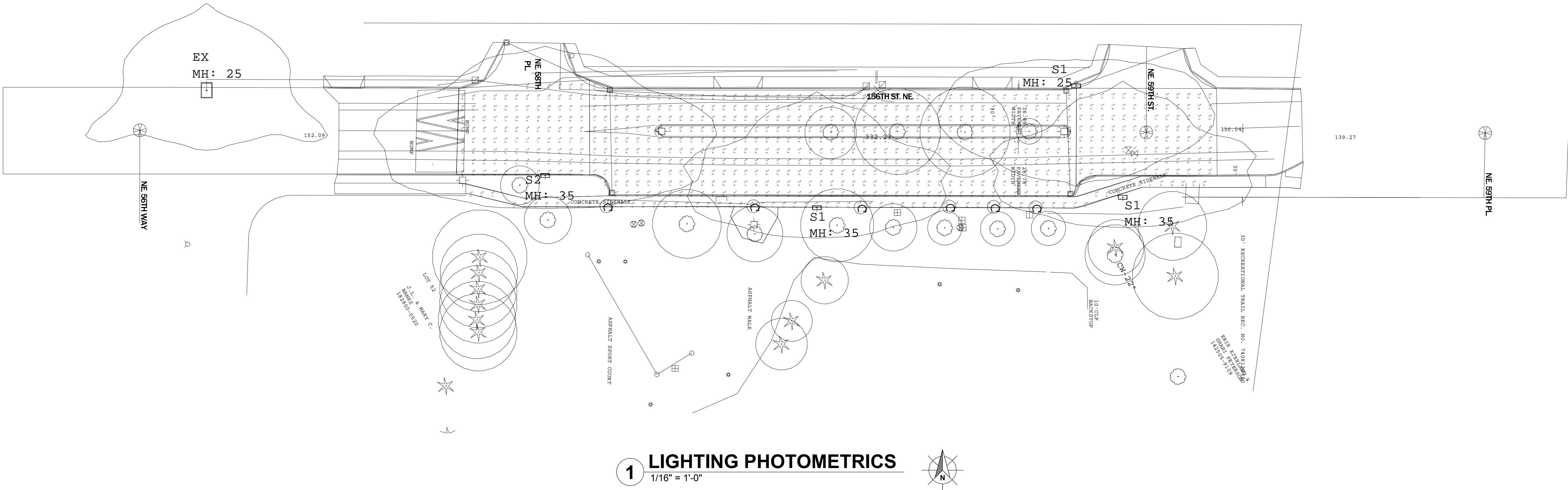
SHEET:

DETAILS L7.3

SHEET NO.: 34 OF 35

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
	3	S1	SINGLE	0.850	ERL1-0-08-C3-30-D-GRAY (GE EVOLVE SERIES)	71	7800
	1	EX	SINGLE	0.720	Existing 100w HPS Cobrahead	297	6541
	1	S2	SINGLE	0.850	ERL1-0-10-C3-30-D-GRAY (GE EVOLVE SERIES)	97	9600

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
58TH ST INTERSECTION_Planar	Illuminance	Fc	0.92	1.6	0.4	2.13	4.00
59TH ST INTERSECTION_Planar	Illuminance	Fc	1.15	2.5	0.5	2.30	5.00
ROADWAY 156TH_Planar	Illuminance	Fc	0.73	2.4	0.4	1.83	6.00
SIDEWALK_Planar	Illuminance	Fc	0.75	1.5	0.4	1.88	3.75



Approved for Construction

Steve Flude, P.E.
City Engineer

DATE

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 CITY OF REDMOND STANDARD SPECIFICATIONS AND DETAILS.

MEP ENGINEER:
Edward Borden III, P.E.
4110 Tree Mist Ct.
Humble, TX 77346
832-541-8769
ebordeniii@gmail.com



REDMOND WESTSIDE PARK RENOVATION

5810 156TH AVE NE
REDMOND, WA 98052

OWNER:
CITY OF REDMOND

REVISIONS	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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02.26.2020	30% PLANS
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04.03.2020	60% PLANS
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04.30.2020	SITE PLAN ENTITLEMENT
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ORIGINAL SHEET SIZE: S 22x34"

BOARD & VELLUM PROJECT #: 2019176.00
PROJECT #: 500021924

PLOT DATE: 03/23/2020

SHEET: **E1.0**
LIGHTING PHOTOMETRICS